

Village of Cambridge Plan Commission

Monday, June 13, 2022 – 6:30 P.M.
Amundson Community Center, Community Room
200 Spring Street

PUBLIC HEARING

1. Call to Order/Roll Call
2. Proof of Posting
3. Public Hearing regarding the proposed project plan, boundaries and Creation of Tax Incremental District #6. See the Public Hearing Notice which was published on May 26, 2022 and June 2, 2022.
4. Adjournment of Public Hearing.

AGENDA

1. Call to Order / Roll Call.
2. Proof of Posting.
3. Approve Minutes from Plan Commission Meeting on May 18, 2022
4. Public Appearances:
5. New Business: Discussion and Possible Action regarding:
 - a. Consideration and Possible Action on Resolution 2022-01 Designating Proposed Boundaries and Approving a Project Plan for Tax Incremental District No. 6, Village of Cambridge, WI
 - b. Scott Farms Proposed Subdivision Expansion:
 - 1) General Overview of Project
 - 2) Discussion and Possible Action Regarding Preliminary Plat
 - 3) Discussion and Possible Action Regarding Final Plat
 - 4) Discussion and Possible Action Regarding Engineering Plans
6. Unfinished Business:
7. Correspondence:
8. Any Other Such Business That Can Legally Be Brought Before the Committee for Consideration on Future Agendas/Questions or Comments for Staff:
 - a. Smart Growth Plan
9. Adjournment of Meeting

Note

- 1) Persons Needing Special Accommodations Should Call 423-3712 At Least 24 Hours Prior To The Meeting.
- 2) More Specific Information About Agenda Items May Be Obtained By Calling 423-3712.
- 3) Final Plan Commission Agendas Are Typically Posted By 4 Pm On The Friday Preceding The Regular Meeting At The Amundson Community Center, Cambridge Post Office, Village Website, Hometown Bank and Cambridge State Bank.

Lisa Moen, Village Administrator/Clerk/Deputy Treasurer

Village of Cambridge Plan Commission

Wednesday, May 18, 2022 – 6:30 P.M.

Senior Center Room
200 Spring Street

MINUTES

1. Call to Order / Roll Call. The meeting was called to order at 6:30 p.m. Members present: Commissioner Hollenbeck, Franklin, Milsap, Gronemus, Michalski and Chairman Wittwer. Members excused: Commissioners Anderson. Others present: Mike Coughlin, Chrissie Brynwood, Treasurer; Jim Curran, Mark McNally, Village President; Mike Reiber, Dancing Goat.
2. Proof of Posting: The notice was posted in the upper and lower levels of the Amundson Community Center; Cambridge Post Office, Hometown Bank; Badger Bank.
3. Approve Minutes from Plan Commission Meeting on May 9, 2022

Commissioner Franklin made a motion to approve the meeting minutes from May 9, 2022, seconded by Commissioner Hollenbeck, motion carried 6-0

4. Public Appearances: Mike Reiber mentioned that the former building inspector did not file the final inspection paperwork. Mr. Reiber thanks Commissioner Franklin for his suggestion to the board to hire Safe built. Acknowledged the new building inspector was professional and completed.
5. Unfinished Business: Discussion and Possible Action regarding:
 - a. Rezone Request from Mike Coughlin, for property located at 230 Bilstad Road, tax key 111/0612-124-0010-2. The property is currently zoned Agriculture and would be rezoned to R-L, Residential Low Density Single Family. Mr. Coughlin was present and explained to the committee that want to tear down old home and build a single-family home on this property. He also stated that he was perfectly fine with leaving most of the land agricultural. Mr. Coughlin stated this property has a well and septic, which he will be removing and replacing with new. President McNally questioned the white storage shed that looks in despair. Mr. Coughlin stated he will be tearing that down as well and possibly just leaving the silo. He is wanting to re-zone 3.26 acres residential low density, to build his home on and leave 16.7 acres agricultural.

Commissioner Franklin made a motion to recommend to the Board of Trustee's to re-zone 230 Bilstad Road, tax key 111/0612-124-0010-2 (3.26) acres to residential low density and 16.7 acres remain agricultural.

6. Correspondence: None
7. Any Other Such Business That Can Legally Be Brought Before the Committee for Consideration on Future Agendas/Questions or Comments for Staff:
 - a. Smart Growth plan MC Roeffers
 - b. Updates on Kwik-Trip
8. Adjournment of Meeting

Commissioner Franklin made a motion to adjourn the meeting, seconded by Commissioner Milsap. Chairman Wittwer adjourned the meeting at 6:55 p.m.

Note

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Chrissie Brynwood Treasurer/Deputy Clerk, Admin

Affidavit - Proof of Publication

STATE OF WISCONSIN }
 } SS.

Missy Feiler being duly sworn deposes and says that he/she is the principal clerk of Adams Publishing Group of Southern Wisconsin, publishers of **Cambridge News Deerfield**, a newspaper published in , and that a notice, printed copy of which taken from said newspaper, is hereunto attached, was published in said newspaper on the following dates:

05/26/22, 06/02/22

Publishing Fees: **\$584.78**

Signature:

Missy Feiler

Subscribed and sworn to before me
this **2nd day of June, A.D. 2022**

Notary Public

Mary Jo Currie

My Commission Expires: 12-15-22

MARY JO CURRIE
Notary Public
State of Wisconsin

**NOTICE OF PUBLIC HEARING
AND JOINT REVIEW BOARD MEETING
IN THE VILLAGE OF CAMBRIDGE, WISCONSIN**

Notice is Hereby Given that the Village of Cambridge will hold an organizational Joint Review Board meeting on June 13, 2022 at 5:30 p.m.

The purpose of this meeting is to organize a Joint Review Board for purposes of considering the proposed creation of, and proposed project plan for, Tax Incremental District No. 6 (the "District").

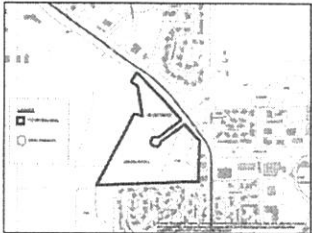
Notice is Hereby Given that the Plan Commission of the Village of Cambridge will hold a public hearing on June 13, 2022 at 6:30 p.m. for the purpose of providing the community a reasonable opportunity to comment upon the proposed creation of the Project Plan for the District.

The meetings will be held at the Cambridge Village Hall, located at 200 Spring Street

The proposed boundaries of the District would be within an area generally detailed on the map inset.

The District is expected to be a mixed-use district based on the identification and classification of the property proposed to be included within the District.

Proposed projects costs include various public improvements and cash grants to owners or lessee or developers of land located within the district (development incentives) and professional and organizational services, administrative costs, and finance costs. The proposed costs include projects within the proposed boundary and within a 1/2 mile radius of the proposed boundary of the District.



All interested parties will be given a reasonable opportunity to express their views on the proposed creation of the District, the proposed boundaries of the District, and the proposed Project Plan thereof. A copy of the Project Plan, including a description of the proposed boundaries, will be available for viewing in the offices of the Village Clerk at the Cambridge Village Hall, located at 200 Spring Street during normal business hours and will be provided upon request.

Such hearing shall be public and citizens and interested parties shall then be heard. This hearing may be adjourned from time to time.

By Order of the Village of Cambridge, Wisconsin

PUB: Cambridge News/Deerfield Independent: May 26 & June 2, 2022
WNAXLP

PLAN COMMISSION RESOLUTION NO. 2022-01

**RESOLUTION DESIGNATING PROPOSED BOUNDARIES
AND APPROVING A PROJECT PLAN
FOR TAX INCREMENTAL DISTRICT NO. 6,
VILLAGE OF CAMBRIDGE, WISCONSIN**

WHEREAS, the Village of Cambridge (the "Village") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the Village; and

WHEREAS, Tax Incremental District No. 6 (the "District") is proposed to be created by the Village as a mixed-use district in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and

WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)1.k. and 66.1105(2)(f)1.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and Village ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the Village;
- k. An opinion of the Village Attorney or of an attorney retained by the Village advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f).

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to the chief executive officers of Dane County, the Cambridge School District, and the Madison Area Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on June 13, 2022 held a public hearing concerning the project plan and boundaries and proposed creation of the District, providing interested parties a reasonable opportunity to express their views thereon.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Cambridge that:

1. It recommends to the Village Board that Tax Incremental District No. 6 be created with boundaries as designated in Exhibit A of this Resolution.
2. It approves and adopts the Project Plan for the District, attached as Exhibit B, and recommends its approval to the Village Board.

3. Creation of the District promotes orderly development in the Village.

Adopted this _____ day of _____, 2022.

Eric, Wittwer, Plan Commission Chair

Lisa Moen, Secretary of the Plan Commission

**LEGAL BOUNDARY DESCRIPTION
OR
MAP OF
TAX INCREMENTAL DISTRICT NO. 6
VILLAGE OF CAMBRIDGE**

THIS CAN BE FOUND IN THE PROJECT PLAN

PROJECT PLAN

THIS WILL BE HANDED OUT SEPARATELY

June 28, 2022

PROJECT PLAN

Village of Cambridge, Wisconsin

Tax Incremental District No. 6



Prepared by:

Ehlers

N21W23350 Ridgeview Parkway West,

Suite 100

Waukesha, WI 53188

BUILDING COMMUNITIES. IT'S WHAT WE DO.

KEY DATES

Organizational Joint Review Board Meeting Held:	Scheduled for June 13, 2022
Public Hearing Held:	Scheduled for June 13, 2022
Approval by Plan Commission:	Scheduled for June 13, 2022
Adoption by Village Board:	Scheduled for June 28, 2022
Approval by the Joint Review Board:	TBD

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SECTION 1: Executive Summary

DESCRIPTION OF DISTRICT

Tax Incremental District (“TID”) No. 6 (“District”) is a proposed Mixed-Use District comprising approximately 26.5 acres located on the west side of the intersection of State Highway 18 and State Highway 134. The District will be created to pay the costs of Developer funded infrastructure improvements (including metered intersection, sidewalk, and utilities) to be reimbursed by a Pay-as-you-go developer agreement and Well #2 and #3 treatment. The Mixed-Use development (“Project”) will be developed by West Gate Partners, LLC (“Developer”). In addition to the incremental property value that will be created, the Village expects the Project will result in several jobs and additional business in the Village.

AUTHORITY

The Village is creating the District under the provisions of Wis. Stat. § 66.1105.

ESTIMATED TOTAL PROJECT COST EXPENDITURES

The Village anticipates making total expenditures of approximately \$1.9 million (“Project Costs”) to undertake the projects listed in this Project Plan (“Plan”). Project Costs include costs for Projects as detailed in Sections 6, 7, and 8 of this Plan.

INCREMENTAL VALUATION

The Village projects that new land and improvements value of approximately \$1922 million will result from the Project. Creation of this additional value will be made possible by the Project Costs made within the District. A table detailing assumption’s as to the development timing and associated values is included in the Economic Feasibility Study located within this Plan.

EXPECTED TERMINATION OF DISTRICT

Based on the Economic Feasibility Study located within Section 9 of this Plan, the Village anticipates that the District will generate sufficient tax increment to pay all Project Costs within 9 of its allowable 20 years.

SUMMARY OF FINDINGS

As required by Wis. Stat. § 66.1105, and as documented in this Plan and the exhibits contained and referenced herein, the following findings are made:

1. That “but for” the creation of this District, the development projected to occur as detailed in this Plan: 1) would not occur; or 2) would not occur in the manner, at the values, or within the timeframe desired by the Village. In

reaching this determination, the Village has considered the substantial investment needed to provide the public infrastructure necessary to allow for development within the District. Absent the use of tax incremental financing, the Village is unable to fully fund this program of infrastructure improvements.

2. The economic benefits of the District, as measured by increased employment, business and personal income, and property value, are sufficient to compensate for the cost of the improvements. In making this determination, the Village has considered the following information:

That the Developer is likely to purchase goods and services from local suppliers in construction of the Project, and induced effects of employee households spending locally for goods and services from retailers, restaurants and service companies.

3. The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. As required by Wis. Stat. § 66.1105(4)(i)4., a calculation of the share of projected tax increments estimated to be paid by the owners of property in the overlying taxing jurisdictions has been prepared and can be found in this Plan. However, because the Project would not occur without the use of tax incremental financing, these tax increments would not be paid but for creation of the District. Accordingly, the Village finds that the benefits expected to be realized as set forth in this Plan outweigh the value of the tax increments to be invested in the Project.
4. Not less than 50% by area of the real property within the District is suitable for mixed use development as defined by Wis. Stat. § 66.1105(2)(cm). Lands proposed for newly-platted residential development comprise no more than 35% of the real property area within the District. Costs related to newly-platted residential development may be incurred based on the proposed development having a density of at least three (3) units per acre as defined in Wis. Stat. § 66.1105(2)(f)3.a.
5. Based on the foregoing finding, the District is designated as a mixed-use district.
6. The Project Costs relate directly to promoting mixed use development in the District, consistent with the purpose for which the District is created.
7. Improvements to be made in the District are likely to significantly enhance the value of substantially all of the other real property in the District.

8. The equalized value of taxable property in the District, plus the incremental value of all existing tax incremental districts within the Village does not exceed 12% of the total equalized value of taxable property within the Village.
9. The Village estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period, pursuant to Wis. Stat. § 66.1105(5)(b).
10. That there are no parcels to be included within the District that were annexed by the Village within the preceding three-year period.
11. The Plan for the District is feasible and is in conformity with the Master Plan of the Village.

SECTION 2: Preliminary Map of Proposed District Boundary

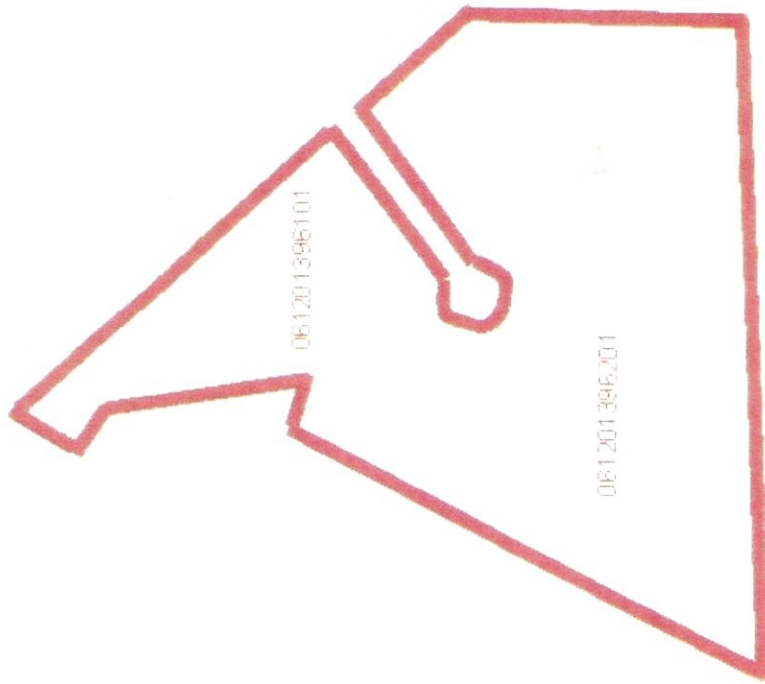
Map Found on Following Page.

To the extent District boundaries include wetlands identified on a map prepared under Wis. Stat. § 23.32, the wetlands are excluded from the District.

Legend

TID #6 Boundary

Chippewetlands



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBasis, IGN, Kadaster NL, Ordnance Survey, Esri Japan, ME TI, Esri China (Hong Kong), Swisstopo, Mapbox, contributors, and the GIS User Community. ParcelTe d

TOW

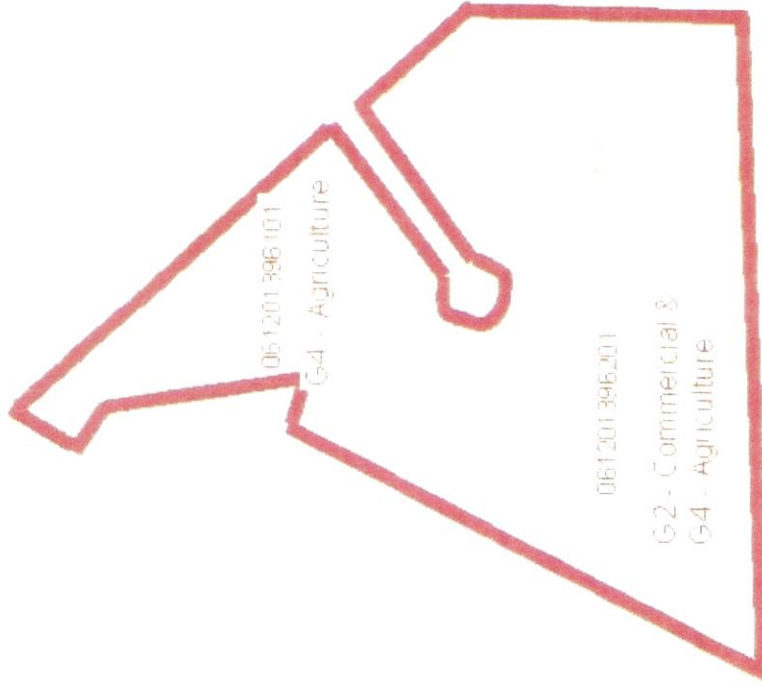
SECTION 3: Map Showing Existing Uses and Conditions

Map found on following page.

Legend

TID #8 Boundary

Other Wetlands



SECTION 4: Preliminary Parcel List and Analysis

Table found on following page.

Village of Cambridge, Wisconsin

Tax Increment District #6
Base Property Information

Property Information				Assessment Information				Equalized Value				District Classification								
Map Ref #	Parcel Number	Street Address	Owner	Acres	1/2/04? .../indicate	Part of Existing TID? .../indicate	Land	Imp	PP	Total	Equalized Value Ratio	Land	Imp	PP	Total	Industrial (Zoned and Suitable)	Commercial/Business	Existing Residential	Newly Pitted Residential	Suitable for Mixed Use
1	61201396101			5.79	No	No	0	0	0	0	100.00%	0	0	0	0	5.79	20.72	0	0	5.79
2	61201396201		WESTGATE PARTNERS LLC TBO	20.72	No	No	0	0	0	0	100.00%	0	0	0	0	20.72	20.72	0	0	20.72
Total Acres				26.51			0	0	0	0		0	0	0	0	26.51	41.44	0.00%	0.00%	26.51
																Estimated Base Value				0



SECTION 5: Equalized Value Test

The following calculations demonstrate that the Village expects to be in compliance with Wis. Stat. § 66.1105(4)(gm)4.c., which requires that the equalized value of the taxable property in the proposed District, plus the value increment of all existing tax incremental districts, does not exceed 12% of the total equalized value of taxable property within the Village.

The equalized value of the increment of existing tax incremental districts within the Village, plus the base value of the proposed District, totals \$4,109,500. **This value is less than the maximum** of \$24,651,100 in equalized value that is permitted for the Village.

Village of Cambridge, Wisconsin	
Tax Increment District #6	
Table 1: Valuation Test Compliance Calculation	
District Creation Date	9/27/2022
	Valuation Data Currently Available 2021
Total EV (TID In)	200,651,100
12% Test	24,078,132
Increment of Existing TIDs	
TID #4	3,880,300
TID #5	229,200
Total Existing Increment	4,109,500
Projected Base of New or Amended District	0
Less Value of Any Underlying TID Parcels	0
Total Value Subject to 12% Test	4,109,500
Compliance	PASS

SECTION 6: Statement Listing the Kind, Number and Location of All Proposed Public Works or Improvements Within the District

Project Costs are any expenditure made, estimated to be made, or monetary obligations incurred or estimated to be incurred as outlined in this Plan. Project Costs will be diminished by any income, special assessments, or other revenues, including user fees or charges, other than tax increments, received or reasonably expected to be received in connection with the implementation of the Plan. If Project Costs incurred benefit territory outside the District, a proportionate share of the cost is not a Project Cost. Costs identified in this Plan are preliminary estimates made prior to design considerations and are subject to change after planning, design and construction is completed.

With all Project Costs, the costs of engineering, design, survey, inspection, materials, construction, restoring property to its original condition, apparatus necessary for public works, legal and other consultant fees, testing, environmental studies, permits, updating Village ordinances and plans, judgments or claims for damages and other expenses are included as Project Costs.

The following is a list of public works and other tax incremental financing eligible Project Costs that the Village expects to make, or may need to make, in conjunction with the implementation of the District's Plan. The map found in Section 7 of this Plan along with the Detailed List of Project Costs found in Section 8 provide additional information as to the kind, number and location of potential Project Costs.

Property, Right-of-Way and Easement Acquisition

Property Acquisition for Development

To promote and facilitate development the Village may acquire property within the District. The cost of property acquired, and any costs associated with the transaction, are eligible Project Costs. Following acquisition, other Project Costs within the categories detailed in this Section may be incurred to make the property suitable for development. Any revenue received by the Village from the sale of property acquired pursuant to the execution of this Plan will be used to reduce the total project costs of the District. If total Project Costs incurred by the Village to acquire property and make it suitable for development exceed the revenues or other consideration received from the sale or lease of that property, the net amount shall be considered "real property

assembly costs” as defined in Wis. Stat. § 66.1105(2)(f)1.c., and subject to recovery as an eligible Project Cost.

Property Acquisition for Conservancy

To promote the objectives of this Plan, the Village may acquire property within the District that it will designate for conservancy. These conservancy objectives include: preserving historic resources or sensitive natural features; protection of scenic and historic views; maintaining habitat for wildlife; maintaining adequate open space; reduction of erosion and sedimentation by preserving existing vegetation; and providing adequate areas for management of stormwater. The cost of property acquired for conservancy, and any costs associated with the transaction, are eligible Project Costs.

Acquisition of Rights-of-Way

The Village may need to acquire property to allow for installation of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the Village to identify, negotiate and acquire rights-of-way are eligible Project Costs.

Acquisition of Easements

The Village may need to acquire temporary or permanent easements to allow for installation and maintenance of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the Village to identify, negotiate and acquire easement rights are eligible Project Costs.

Relocation Costs

If relocation expenses are incurred in conjunction with the acquisition of property, those expenses are eligible Project Costs. These costs may include, but are not limited to: preparation of a relocation plan; allocations of staff time; legal fees; publication of notices; obtaining appraisals; and payment of relocation benefits as required by Wis. Stat. Chapter 32 and Wis. Admin. Code ADM 92.

Site Preparation Activities

Environmental Audits and Remediation

If it becomes necessary to evaluate any land or improvement within the District, any cost incurred by the Village related to environmental audits, testing, and remediation are eligible Project Costs.

Demolition

To make sites suitable for development, the Village may incur costs related to demolition and removal of structures or other land improvements, to include abandonment of wells or other existing utility services.

Site Grading

Land within the District may require grading to make it suitable for development, to provide access, and to control stormwater runoff. The Village may need to remove and dispose of excess material, or bring in fill material to provide for proper site elevations. Expenses incurred by the Village for site grading are eligible Project Costs.

Utilities

Sanitary Sewer System Improvements

To allow development to occur, the Village may need to construct, alter, rebuild or expand sanitary sewer infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: collection mains; manholes and cleanouts; service laterals; force mains; interceptor sewers; pumping stations; lift stations; wastewater treatment facilities; and all related appurtenances. To the extent sanitary sewer projects undertaken within the District provide direct benefit to land outside of the District, the Village will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the Village construct, alter, rebuild or expand sanitary sewer infrastructure located outside of the District. That portion of the costs of sanitary sewer system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Water System Improvements

To allow development to occur, the Village may need to construct, alter, rebuild or expand water system infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: distribution mains; manholes and valves; hydrants; service laterals; pumping stations; wells; water treatment facilities; storage tanks and reservoirs; and all related appurtenances. To the extent water system projects undertaken within the District provide direct benefit to land outside of the District, the Village will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the Village construct, alter, rebuild or

expand water system infrastructure located outside of the District. That portion of the costs of water system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Stormwater Management System Improvements

Development within the District will cause stormwater runoff. To manage this stormwater runoff, the Village may need to construct, alter, rebuild or expand stormwater management infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: stormwater collection mains; inlets, manholes and valves; service laterals; ditches; culvert pipes; box culverts; bridges; stabilization of stream and river banks; and infiltration, filtration and detention Best Management Practices (BMP's). To the extent stormwater management system projects undertaken within the District provide direct benefit to land outside of the District, the Village will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the Village construct, alter, rebuild or expand stormwater management infrastructure located outside of the District. That portion of the costs of stormwater management system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Electric Service

To create sites suitable for development, the Village may incur costs to provide, relocate or upgrade electric services. Relocation may require abandonment and removal of existing poles or towers, installation of new poles or towers, or burying of overhead electric lines. Costs incurred by the Village to undertake this work are eligible Project Costs.

Gas Service

To create sites suitable for development, the Village may incur costs to provide, relocate or upgrade gas mains and services. Costs incurred by the Village to undertake this work are eligible Project Costs.

Communications Infrastructure

To create sites suitable for development, the Village may incur costs to provide, relocate or upgrade infrastructure required for voice and data communications.

including, but not limited to: telephone lines, cable lines and fiber optic cable. Costs incurred by the Village to undertake this work are eligible Project Costs.

Streets and Streetscape

Street Improvements

To allow development to occur, the Village may need to construct or reconstruct streets, highways, alleys, access drives and parking areas. Eligible Project Costs include, but are not limited to: excavation; removal or placement of fill; construction of road base; asphalt or concrete paving or repaving; installation of curb and gutter; installation of sidewalks and bicycle lanes; installation of culverts, box culverts and bridges; rail crossings and signals; utility relocation, to include burying overhead utility lines; street lighting; installation of traffic control signage and traffic signals; pavement marking; right-of-way restoration; installation of retaining walls; and installation of fences, berms, and landscaping.

Streetscaping and Landscaping

To attract development consistent with the objectives of this Plan, the Village may install amenities to enhance development sites, rights-of-way and other public spaces. These amenities include, but are not limited to: landscaping; lighting of streets, sidewalks, parking areas and public areas; installation of planters, benches, clocks, tree rings, trash receptacles and similar items; and installation of brick or other decorative walks, terraces and street crossings. These and any other similar amenities installed by the Village are eligible Project Costs.

Community Development

Cash Grants (Development Incentives)

The Village may enter into agreements with property owners, lessees, or developers of land located within the District for sharing costs to encourage the desired kind of improvements and assure tax base is generated sufficient to recover Project Costs. No cash grants will be provided until the Village executes a developer agreement with the recipient of the cash grant. Any payments of cash grants made by the Village are eligible Project Costs.

Miscellaneous

Projects Outside the Tax Increment District

Pursuant to Wis. Stat. § 66.1105(2)(f)1.n, the Village may undertake projects within territory located within one-half mile of the boundary of the District provided that: 1) the project area is located within the Village's corporate

boundaries; and 2) the projects are approved by the Joint Review Board. The cost of projects completed outside the District pursuant to this section are eligible project costs, and may include any project cost that would otherwise be eligible if undertaken within the District. The Village intends to make no project cost expenditures outside the District.

Professional Service and Organizational Costs

The costs of professional services rendered, and other costs incurred, in relation to the creation, administration and termination of the District, and the undertaking of the projects contained within this Plan, are eligible Project Costs. Professional services include but are not limited to: architectural; environmental; planning; engineering; legal; audit; financial; and the costs of informing the public with respect to the creation of the District and the implementation of the Plan.

Administrative Costs

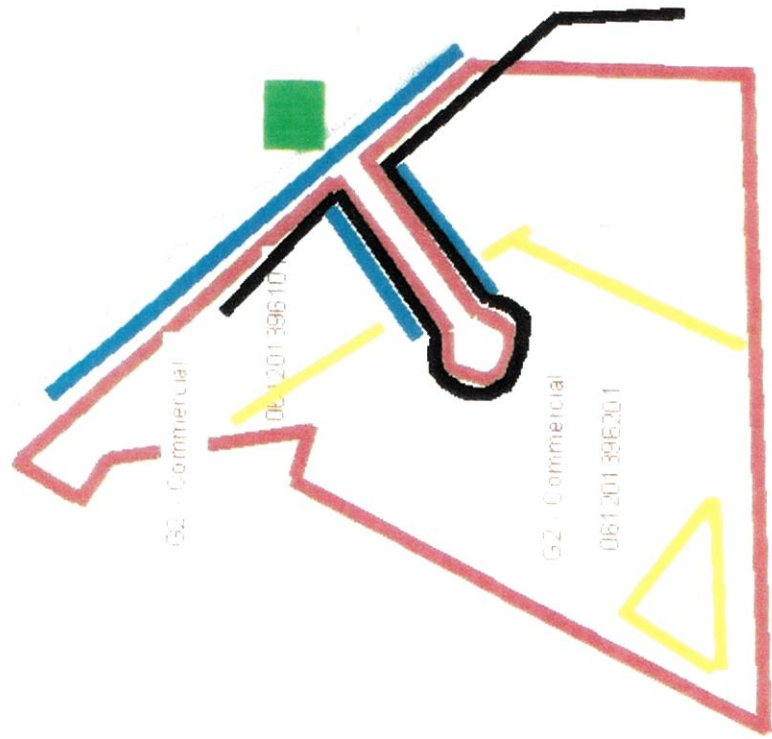
The Village may charge to the District as eligible Project Costs reasonable allocations of administrative costs, including, but not limited to, employee salaries. Costs allocated will bear a direct connection to the time spent by Village employees relating to the implementation of the Plan.

Financing Costs

Interest expense, debt issuance expenses, redemption premiums, and any other fees and costs incurred in conjunction with obtaining financing for projects undertaken under this Plan are eligible Project Costs.

SECTION 7: Map Showing Proposed Improvements and Uses

Map Found on Following Page.



Legend

TID #8 Boundary

Urban Wetlands

Stormwater Improvements

Water & Sewer Improvements

Sidewalk Improvements

Metered Intersection

Note: All Projects to be completed by developer and repaid through PAVISG. Well Projects funded by Village for TID allocable portions and locations not on map.

SECTION 8: Detailed List of Estimated Project Costs

The following list identifies the Project Costs that the Village currently expects to incur in implementing the District's Plan. All projects identified and related costs reflect the best estimates available as of the date of preparation of this Plan. All costs are preliminary estimates and may increase or decrease. Certain Project Costs listed may become unnecessary, and other Project Costs not currently identified may need to be made. (Section 6 details the general categories of eligible Project Costs). Changes in Project Cost totals or the types of Project Costs to be incurred will not require that this Plan be amended. This Plan is not meant to be a budget nor an appropriation of funds for specific Project Costs, but a framework within which to manage Project Costs.

Village of Cambridge, Wisconsin					
Tax Increment District #6					
Table 2: Estimated Project List					
Project		Phase I	Phase II	Ongoing	Total ¹
ID	Description	2022	2023		
1	Development Incentives (MRO)	1,372,400			1,372,400
2	Well #2 & #3 Treatment		400,000		400,000
3	Ongoing Admin Costs			70,000	70,000
4	Financing Costs			105,321	105,321
5					0
Total		1,372,400	400,000	175,321	1,947,721

Notes:

- 1) Project costs are estimates and are subject to modification.
- 2) Development incentives (MRO) are designed to repay developer for infrastructure costs to develop the 2 parcels proposed such as a metered intersection, sidewalk, and utilities. In addition, the developer would pay for administrative costs so the Village would not need to rely on other governmental funds until increment is received.
- 3) Ongoing admin. costs include Village staff time dedicated to the District, Annual Reporting, Annual Audit, JRB Meeting & Coordination, and DOR Fees.

SECTION 9: Economic Feasibility Study, Description of the Methods of Financing Estimated Project Costs and the Time When Related Costs or Monetary Obligations are to be Incurred

This Section includes a forecast of the valuation increases expected within the District, the associated tax increment collections, a summary of how Project Costs would be financed, and a projected cash flow demonstrating that the District is economically feasible.

Key Assumptions

The Project Costs the Village plans to make are expected to create \$19.2 million in incremental value by 2026. Estimated valuations and timing for construction of the Project are included in **Table 3**. Assuming the Village's current equalized TID Interim tax rate of \$19.86 per thousand of equalized value, and no economic appreciation or depreciation, the Project would generate \$6,992,285 in incremental tax revenue over the 20-year term of the District as shown in **Table 4**.

Village of Cambridge, Wisconsin

Tax Increment District #6

Table 3: Development Assumptions

Construction Year		Lot 1	Lot 2	Annual Total	Construction Year	
1	2022	3,200,000	3,200,000	6,400,000	2022	1
2	2023		3,200,000	3,200,000	2023	2
3	2024		3,200,000	3,200,000	2024	3
4	2025		3,200,000	3,200,000	2025	4
5	2026		3,200,000	3,200,000	2026	5
6	2027			0	2027	6
7	2028			0	2028	7
8	2029			0	2029	8
9	2030			0	2030	9
10	2031			0	2031	10
11	2032			0	2032	11
12	2033			0	2033	12
13	2034			0	2034	13
14	2035			0	2035	14
15	2036			0	2036	15
16	2037			0	2037	16
17	2038			0	2038	17
18	2039			0	2039	18
19	2040			0	2040	19
20	2041			0	2041	20
Totals		3,200,000	16,000,000	19,200,000		

Notes:

1) Assumptions provided by the Developer and would be memorialized in a guaranteed value within the Developer's Agreement.

Village of Cambridge, Wisconsin

Tax Increment District #6

Table 4: Tax Increment Projection Worksheet

Type of District	Mixed Use		Base Value	0	Apply to Base Value
District Creation Date	September 27, 2022		Appreciation Factor	0.00%	
Valuation Date	Jan 1,	2022	Base Tax Rate	\$19.86	
Max Life (Years)	20		Rate Adjustment Factor		
Expenditure Period/Termination	15	9/27/2037	Tax Exempt Discount Rate	2.00%	
Revenue Periods/Final Year	20	2043	Taxable Discount Rate	3.50%	
Extension Eligibility/Years	Yes	3			
Eligible Recipient District	No				

	Construction		Valuation Year	Inflation Increment	Total Increment	Revenue		Tax Increment	Tax Exempt NPV	
	Year	Value Added				Year	Tax Rate		Calculation	Taxable NPV Calculation
1	2022	6,400,000	2023	0	6,400,000	2024	\$19.86	127,132	119,800	114,666
2	2023	3,200,000	2024	0	9,600,000	2025	\$19.86	190,699	295,976	280,849
3	2024	3,200,000	2025	0	12,800,000	2026	\$19.86	254,265	526,271	494,933
4	2025	3,200,000	2026	0	16,000,000	2027	\$19.86	317,831	808,496	753,489
5	2026	3,200,000	2027	0	19,200,000	2028	\$19.86	381,397	1,140,526	1,053,264
6	2027	0	2028	0	19,200,000	2029	\$19.86	381,397	1,466,045	1,342,902
7	2028	0	2029	0	19,200,000	2030	\$19.86	381,397	1,785,181	1,622,745
8	2029	0	2030	0	19,200,000	2031	\$19.86	381,397	2,098,060	1,893,124
9	2030	0	2031	0	19,200,000	2032	\$19.86	381,397	2,404,803	2,154,361
10	2031	0	2032	0	19,200,000	2033	\$19.86	381,397	2,705,533	2,406,763
11	2032	0	2033	0	19,200,000	2034	\$19.86	381,397	3,000,365	2,650,630
12	2033	0	2034	0	19,200,000	2035	\$19.86	381,397	3,289,417	2,886,251
13	2034	0	2035	0	19,200,000	2036	\$19.86	381,397	3,572,801	3,113,903
14	2035	0	2036	0	19,200,000	2037	\$19.86	381,397	3,850,628	3,333,857
15	2036	0	2037	0	19,200,000	2038	\$19.86	381,397	4,123,008	3,546,373
16	2037	0	2038	0	19,200,000	2039	\$19.86	381,397	4,390,047	3,751,703
17	2038	0	2039	0	19,200,000	2040	\$19.86	381,397	4,651,849	3,950,089
18	2039	0	2040	0	19,200,000	2041	\$19.86	381,397	4,908,519	4,141,766
19	2040	0	2041	0	19,200,000	2042	\$19.86	381,397	5,160,156	4,326,962
20	2041	0	2042	0	19,200,000	2043	\$19.86	381,397	5,406,858	4,505,894
Totals		19,200,000		0		Future Value of Increment		6,992,285		

Notes:

- 1) Actual results will vary depending on development, inflation of overall tax rates.
- 2) NPV calculations represent estimated amount of funds that could be borrowed (including project cost, capitalized interest and issuance costs).

Financing and Implementation

Development incentives (MRO) are designed to repay developer for infrastructure costs to develop the 2 parcels proposed such as a metered intersection, sidewalk, and utilities. In addition, the developer would pay for TID start-up administrative costs so the Village would not need to rely on other governmental funds until increment is received. The Village intends to undertake Treatment upgrades at two of the water source of supply wells in 2023. The Village estimates \$400,000 of the project would be attributable to the development in TID #4 upon full buildout. The Village could undertake the financing through several mechanisms and **Table 5** provides an example summary of the District's financing plan. At the point of executing the financing the Village would make a determination for the most suitable financing mechanism.

Village of Cambridge, Wisconsin

Tax Increment District #6

Table 5: Estimated Financing Plan

	G.O. Bonds 2024	Totals
Projects		
Phase I		0
Phase II	400,000	400,000
Total Project Funds	400,000	400,000
Estimated Finance Related Expenses		
Municipal Advisor	10,000	
Bond Counsel	10,000	
Rating Agency Fee	0	
Paying Agent	250	
Underwriter Discount	4,250	
Debt Service Reserve	0	
Capitalized Interest	0	
Total Financing Required	424,500	
Estimated Interest	(300)	
Assumed spend down (months)	6	
Rounding	800	
Net Issue Size	425,000	425,000
Notes:		

Based on the Project Cost expenditures as included within the cash flow exhibit **(Table 6)**, the District is projected to accumulate sufficient funds by the year 2030 to pay off all Project cost liabilities and obligations. The projected closure is based on the various assumptions noted in this Plan and will vary dependent on actual Project Costs incurred and the actual amount of tax increments collected.

Village of Cambridge, Wisconsin

Tax Increment District #6

Table 5: Cash Flow Projection

Year	Projected Revenues			Expenditures				Balances					
	Tax Increments	Total Revenues	MRO	Dated Date: Prin (10/1)	Dev. Agrmt. Date Interest	2024 GO Bonds (TID #6 Portion)	Est. Rate	06/01/24	Total Expenditures	Annual	Cumulative	Principal Outstanding	Year
2022		0	1,100,000			425,000			0	0	0	1,100,000	2022
2023		0							0	0	0	1,100,000	2023
2024	127,132	127,132	6.00%	55,000	66,000		3.50%	19,833	3,500	2,632	2,632	1,470,000	2024
2025	190,699	190,699	6.00%	105,000	62,700		3.50%	14,875	3,500	(335)	2,298	1,365,000	2025
2026	254,265	254,265	6.00%	180,000	56,400		3.50%	14,875	3,500	(510)	1,788	1,185,000	2026
2027	317,831	317,831	6.00%	250,000	45,600		3.50%	14,875	3,500	3,856	5,644	935,000	2027
2028	381,397	381,397	6.00%	325,000	30,600		3.50%	14,875	3,500	7,422	13,066	610,000	2028
2029	381,397	381,397	6.00%	185,000	11,100	170,000	3.50%	11,900	3,500	(103)	12,964	255,000	2029
2030	381,397	381,397	6.00%	0	0	255,000	3.50%	4,463	3,500	118,435	131,398	0	2030
2031	381,397	381,397	6.00%	0	0	0	3.50%	0	3,500	377,897	509,296	0	2031
2032	381,397	381,397							3,500	377,897	887,193	0	2032
2033	381,397	381,397							3,500	377,897	1,265,091	0	2033
2034	381,397	381,397							3,500	377,897	1,642,988	0	2034
2035	381,397	381,397							3,500	377,897	2,020,885	0	2035
2036	381,397	381,397							3,500	377,897	2,398,783	0	2036
2037	381,397	381,397							3,500	377,897	2,776,680	0	2037
2038	381,397	381,397							3,500	377,897	3,154,577	0	2038
2039	381,397	381,397							3,500	377,897	3,532,475	0	2039
2040	381,397	381,397							3,500	377,897	3,910,372	0	2040
2041	381,397	381,397							3,500	377,897	4,288,269	0	2041
2042	381,397	381,397							3,500	377,897	4,666,167	0	2042
2043	381,397	381,397							3,500	377,897	5,044,064	0	2043
Total	6,992,285	6,992,285	1,100,000	272,400		425,000		80,821	70,000		1,948,221		Total

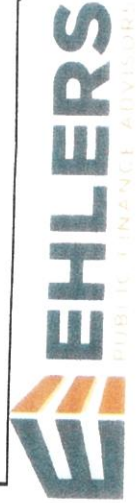
Notes:

1) Additional projects can be added but feasibility should depend on the Village's ability to finance the projects (i.e. outstanding GO Debt Capacity) and available future increment to repay debt service.

Legend:

Projected TID Closure

If required as district remains open. Expenditure Period ends.



SECTION 10: Annexed Property

A tax incremental district cannot include annexed territory unless at least three years have elapsed since the annexation, or certain other requirements are met. None of the property within the proposed District boundary was annexed during the past three years.

SECTION 11:

Estimate of Property to Be Devoted to Retail Business

Pursuant to Wis. Stat. § 66.1105(5)(b), the Village estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period.

SECTION 12: Proposed Changes of Zoning Ordinances, Master Plan, Map, Building Codes and Village Ordinances

Zoning Ordinances

The proposed Plan is in general conformance with the Village's current zoning ordinances. Individual properties may require rezoning at the time of development.

Master (Comprehensive) Plan and Map

The proposed Plan is in general conformance with the Village's Comprehensive Plan identifying the area as appropriate for Highway Commercial.

Building Codes and Ordinances

Development within the District will be required to conform to State Building Codes and will be subject to the Village's permitting and inspection procedures. The proposed Plan conforms to all relevant State and local ordinances, plans, and codes. No changes to the existing regulations are proposed or needed.

SECTION 13:
**Statement of the Proposed Method for the Relocation of
any Persons to be Displaced**

Should implementation of this Plan require relocation of individuals or business operations, relocations will be handled in compliance with Wis. Stat. Chapter 32 and Wis. Admin. Code ADM 92.

SECTION 14: How Creation of the Tax Incremental District Promotes the Orderly Development of the Village

Creation of the District and the implementation of the projects in its Plan will promote the orderly development of the Village by creating opportunities for mixed use development in previously undeveloped locations, providing necessary public infrastructure improvements, and providing appropriate financial incentives for private development projects. Through use of tax increment financing, the Village can attract new investment that results in increased tax base. Development will occur in an orderly fashion in accordance with approved plans so that the Projects will be compatible with adjacent land uses. Development of new uses in the District will add to the tax base and will generate positive secondary impacts in the community such as increased employment opportunities and new businesses.

SECTION 15:

List of Estimated Non-Project Costs

Non-project costs are public works projects which only partly benefit the District. Costs incurred that do not benefit the District may not be paid with tax increments. Examples of non-project costs are:

- A public improvement made within the District that also benefits property outside the District. That portion of the total Project Costs allocable to properties outside of the District would be a non-project cost.
- A public improvement made outside the District that only partially benefits property within the District. That portion of the total Project Costs allocable to properties outside of the District would be a non-project cost.
- Projects undertaken within the District as part of the implementation of this Project Plan, the costs of which are paid fully or in part by impact fees, grants, special assessments, or revenues other than tax increments.

The Plan includes the following non-project costs:

1. Well #2 and #3 treatment improvements have an estimated non-attributable cost of \$4.9M.

SECTION 16:
**Legal Opinion Advising Whether the Plan is Complete
and Complies with Wis. Stat. § 66.1105(4)(f)**

Legal Opinion Found on Following Page.

Rick Manthe

222 West Washington Avenue, Suite 900
P.O. Box 1784
Madison, WI 53701-1784
RManthe@staffordlaw.com
608.259.2684

June 7, 2022

VIA EMAIL

Mark McNally
Village President
Village of Cambridge
200 Spring St
Cambridge, Wisconsin 53523

RE: Project Plan for Tax Incremental District No. 6

Dear Village President McNally:

Wisconsin Statute 66.1105(4)(f) requires that a project plan for a tax incremental financing district include an opinion provided by the Village Attorney advising as to whether the plan is complete and complies with Wisconsin Statute 66.1105.

As Village Attorney for the Village of Cambridge, I have been asked to review the above-referenced project plan for compliance with the applicable statutory requirements. Based upon my review, in my opinion, the Project Plan for the Village of Cambridge Tax Incremental District No. 6 is complete and complies with the provisions of Wisconsin Statute 66.1105.

Sincerely,

STAFFORD ROSENBAUM LLP



Rick Manthe

RAM:mai

SECTION 17: Calculation of the Share of Projected Tax Increments Estimated to be Paid by the Owners of Property in the Overlying Taxing Jurisdictions

The following projection is provided to meet the requirements of Wis. Stat. § 66.1105(4)(i)4.

Estimated portion of taxes that owners of taxable property in each taxing jurisdiction overlaying district would pay by jurisdiction.									
Statement of Taxes Data Year:		2020							
									Percentage
County				514,636					14.43%
Special District									0.00%
Municipality				1,211,969					33.99%
Cambridge School District				1,684,041					47.23%
Extra SD as needed									0.00%
Technical College				155,107					4.35%
Total				3,565,753					

Revenue Year	County	Special District	Municipality	Cambridge School District	Extra SD as needed	Technical College	Total	Revenue Year
2024	18,349	0	43,211	60,042	0	5,530	127,132	2024
2025	27,523	0	64,817	90,064	0	8,295	190,699	2025
2026	36,697	0	86,422	120,085	0	11,060	254,265	2026
2027	45,872	0	108,028	150,106	0	13,825	317,831	2027
2028	55,046	0	129,634	180,127	0	16,590	381,397	2028
2029	55,046	0	129,634	180,127	0	16,590	381,397	2029
2030	55,046	0	129,634	180,127	0	16,590	381,397	2030
2031	55,046	0	129,634	180,127	0	16,590	381,397	2031
2032	55,046	0	129,634	180,127	0	16,590	381,397	2032
2033	55,046	0	129,634	180,127	0	16,590	381,397	2033
2034	55,046	0	129,634	180,127	0	16,590	381,397	2034
2035	55,046	0	129,634	180,127	0	16,590	381,397	2035
2036	55,046	0	129,634	180,127	0	16,590	381,397	2036
2037	55,046	0	129,634	180,127	0	16,590	381,397	2037
2038	55,046	0	129,634	180,127	0	16,590	381,397	2038
2039	55,046	0	129,634	180,127	0	16,590	381,397	2039
2040	55,046	0	129,634	180,127	0	16,590	381,397	2040
2041	55,046	0	129,634	180,127	0	16,590	381,397	2041
2042	55,046	0	129,634	180,127	0	16,590	381,397	2042
2043	55,046	0	129,634	180,127	0	16,590	381,397	2043
	<u>1,009,178</u>	<u>0</u>	<u>2,376,618</u>	<u>3,302,330</u>	<u>0</u>	<u>304,159</u>	<u>6,992,285</u>	

Notes:
The projection shown above is provided to meet the requirements of Wisconsin Statute 66.1105(4)(i)4.

To: Village of Cambridge Planning Commission
From: Jason Valerius, AICP
Subject: Scott Farm Subdivision
Date: June 10, 2022

Request

Applicant (Richard and Jean Scott) is seeking approval of a Preliminary Plat and Final Plat for a 19-lot residential development on a 10.1-acre parcel south of Water Street and west of Scott Road.

Background

The parcel is in the Village and was rezoned from A-Agricultural district to R-L Residential Low Density Single Family on April 12, 2022.

Ordinance Requirements and Consistency Findings

Zoning:

The R-L district allows for single-family dwellings as a permitted use with lot size minimums of 80 feet in width (measured at the street yard setback line) and 10,800 SF in area. The smallest proposed lot is 13,049 SF, and the narrowest is approximately 86 feet. All lots are proposed for single family residential use.

I find that the proposed development is consistent with the zoning ordinance.

Land Division:

The land division ordinance specifies procedural requirements, defining what must be submitted and to whom, to enable appropriate review of the various potential impacts of the development and to ensure timely completion of proposed public improvements. The preliminary and final plats, and their corresponding submittal requirements, can be submitted and approved in sequence or simultaneously. The ordinance also specifies design standards for the plat documents, the design of the lots and blocks to be created, and the various public improvements necessary (streets, stormwater system, water system, etc.)

Applicant has been working with the Village, MSA and other review entities over the past few months to provide and modify as necessary the following documents:

- Preliminary Plat (Village/MSA Engineering review)
- Final Plat (Village/MSA Engineering review)
- Soil Tests (Village/MSA Engineering review)
- Grading Plan and Public Improvement Plans, Profiles and Specifications (Village/MSA Engineering review)
- Stormwater Management Plan and corresponding performance modeling (Dane County Review)

The applicant is not proposing to have a Property Owners Association and has not submitted for review any corresponding deed restrictions or restrictive covenants.

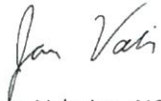
The applicant has not yet finalized a Developer's Contract or financial surety as required by Section 16.20.020

Recommendations

I recommend conditional approval of the preliminary and final plats, subject to the following conditions:

- Compliance with all review comments as provided by MSA and Dane County, verified in written documentation from each review entity that all comments and conditions have been satisfied.
- Provision of a signed Developer's Contract .
- Provision of a financial security instrument, in an amount verified by the Village Engineer.

Sincerely,
MSA Professional Services, Inc.



Jason Valerius, AICP
Consultant Planner



May 24, 2022

Brian E Toczyski
Ruekert Mielke
4001 Nakoosa Trail, Suite 200
Madison, Wi 53714

Re: Scott Farms Subdivision

Dear Brian:

We have reviewed the revised construction documents, dated April, 2022, and submitted by your firm for the Scott Farms Subdivision development.

The following review comments shall be addressed prior to approval of the Scott Farms Subdivision construction documents

General

1. Two copies of shop drawings for the materials to be installed must be received prior to when construction starts.
2. Sanitary sewer & water main extension approval must be received from WI DNR prior to commencing installation of these utilities.
3. The Certificate of Liability Insurance must be received prior to construction start up. Both MSA Professional Services and the Village of Cambridge need to be included as additionally insured. The insurance coverage should be extended to include: Explosion, Collapse and Underground. Automobile & Excess Liability (umbrella coverage) must be included as well.
4. Provide an approved copy of the WI DNR stormwater permit.
5. Provide a stamped set of plans.
6. Show utility contacts on plans.
7. Copies of all field orders and shop drawings must be given to the Village's inspector and to my office prior to commencing with the work.
8. The Village of Cambridge must approve the substitution of materials and changes in work. Sufficient time for review of these issues must accompany the submittal to the Village.

GN-05 & 06

9. Please provide drainage arrows with slopes at property lines to determine intent along with spot elevations that will be used for future reference with the residents.

Sheet TS-01

10. Please revise "Typical Section" 60 ft R.O.W should have 6 ft terraces, 66 ft R.O.W should have 9 ft terraces to equal R.O.W. dimensions.
11. Please revise binder pavement to 4LT 58-28 S to be within minimum depth of 1.75-inches

Sheet No. EC-01

12. Add Inlet protection in driveway on Scott St, NW corner Scott St. north of Country Ln.
13. Please dimension rip-rap
14. Add lot numbers

Sheet No. SW-05

15. The Village has requested to mill 1.75-inch depth and surface pave full width of roadway on Scott Street connection, no patch allowed. This can be discussed with Village staff if necessary.

Sheet No. PS-01

16. Taper from existing back of walk to 0.5 ft. in front of NW property corner of lot 1, tapering front of existing walk to 5 ft. width at same location.

Sheet No. ID-01

17. Seems to have a flat area on outside curve at intersection of Road "B" & Scott Street, minimum slope to be 0.5%, please revise.
18. Additional CL elevation needed at Road "B" & Scott St. to verify cross slope.
19. Back of curb elevations at ramps should be 0.08 below flag elevation to figure correct ramp slope, please revise. Maximum ramp slope to be 7.5%

Sheet No. DT-01

20. Provide tracer wire detail and proposed termini details for locating and testing. Continuity testing required.

Stormwater

Pending review by County

Final

Nothing set forth in this review of the construction and development documents by the Village Engineer shall be construed as, nor intended to be, a waiver or release of any obligations imposed on the Developer or relieve the Developer from compliance with the Village ordinances, standards and policies or any other applicable state statute or administrative rule.

Plans for future improvements and additions must be reviewed by MSA prior to construction. Future improvements and additions must be in accordance with City requirements and ordinances in effect at the time of construction.

Please review this letter and address these issues at your earliest convenience. Contact me for clarification on any comments at (608) 242-7779. Construction shall not begin until the Village of Cambridge has approved the plan set for the proposed improvements.

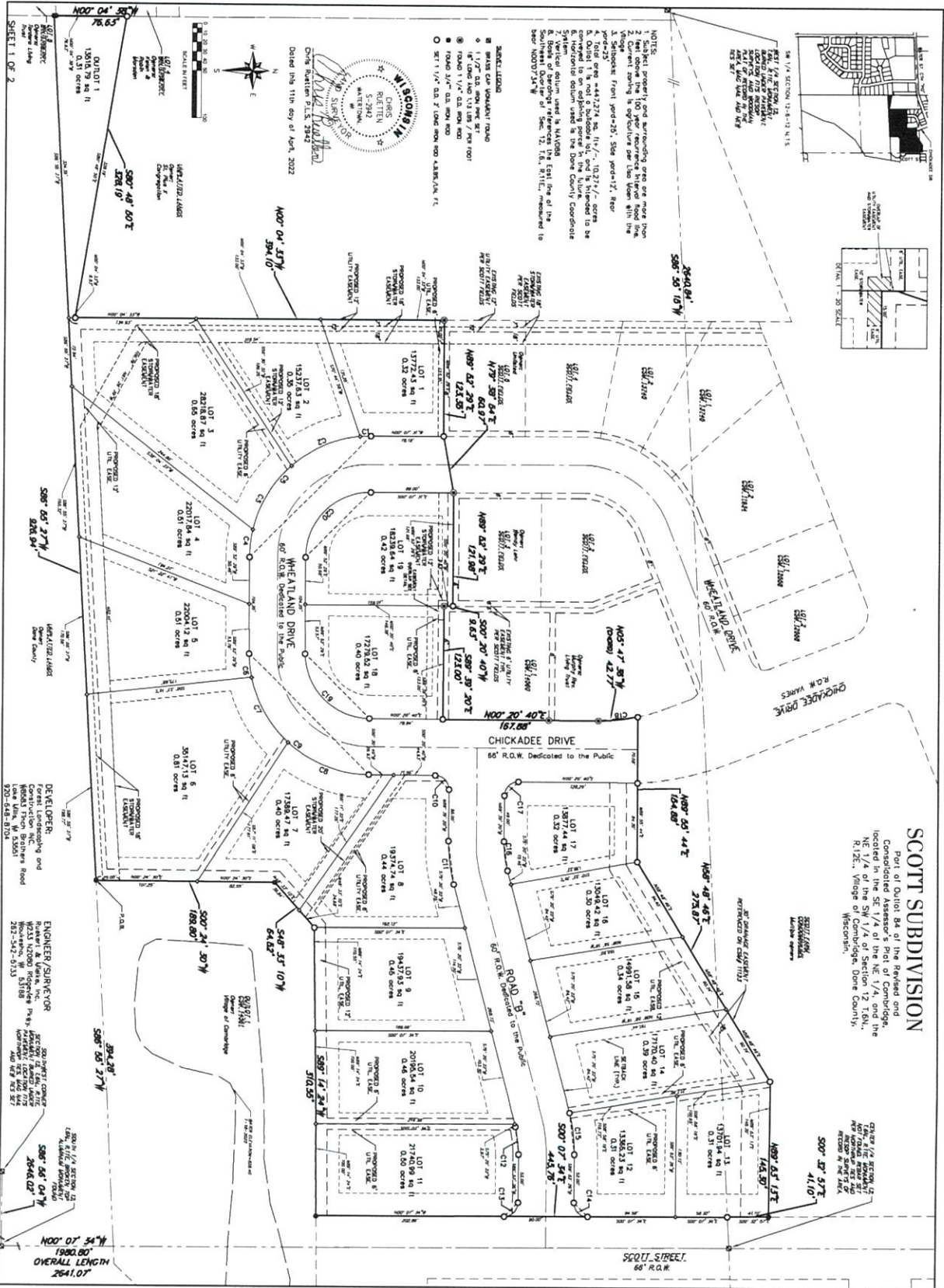
Sincerely,

MSA Professional Services, Inc.



Joseph M. DeYoung, P.E.
Project Manager

Cc: Village of Cambridge



NOTES:
 1. Subject property and surrounding area are more than 1/4 section.
 2. Current zoning is residential per the town with the exception of front porch, 504 pcd-12, Reg. pcd-23.
 3. Total area is 44.2274 ac. (11.7, 10.217, acres).
 4. The subdivision is shown as a single lot to be conveyed to an existing owner in the future.
 5. The subdivision is shown as a single lot to be conveyed to an existing owner in the future.
 6. Vertical datum used is NAVD83. Easting of the Southern Corner of Sec. 12, T.6, R.12E, measured to be 600737.24 M.

- REMARKS:**
- 1. 1.27' dia. pole set
 - 2. 1.27' dia. pole set
 - 3. 1.27' dia. pole set
 - 4. 1.27' dia. pole set
 - 5. 1.27' dia. pole set
 - 6. 1.27' dia. pole set
 - 7. 1.27' dia. pole set
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 - 9. 1.27' dia. pole set
 - 10. 1.27' dia. pole set
 - 11. 1.27' dia. pole set
 - 12. 1.27' dia. pole set
 - 13. 1.27' dia. pole set
 - 14. 1.27' dia. pole set
 - 15. 1.27' dia. pole set
 - 16. 1.27' dia. pole set

Chris Ruetten
 Registered Professional Surveyor
 No. 5-3942
 Wisconsin
 Date: 11th day of April, 2022

SHEET 1 OF 2

SCOTT SUBDIVISION

Part of Outlot B of the Revised and
 Corrected and Amended Plat of
 located in the SE 1/4 of the NE 1/4, and the
 NE 1/4 of the SW 1/4 of Section 12 T6N,
 R.12E, Village of Cambridge, Dore County,
 Wisconsin.

SCOTT STREET
 60' R.O.W.
 DEDICATED TO THE PUBLIC

CHICKADEE DRIVE
 66' R.O.W. DEDICATED TO THE PUBLIC

WHEELAND DRIVE
 60' R.O.W. DEDICATED TO THE PUBLIC

DEVELOPER:
 Construction and
 16005 Thorn Brothers Road
 920-648-8102

ENGINEER/SURVEYOR
 Ruetten & Ruetten, Inc.
 16005 Thorn Brothers Road
 920-648-8102

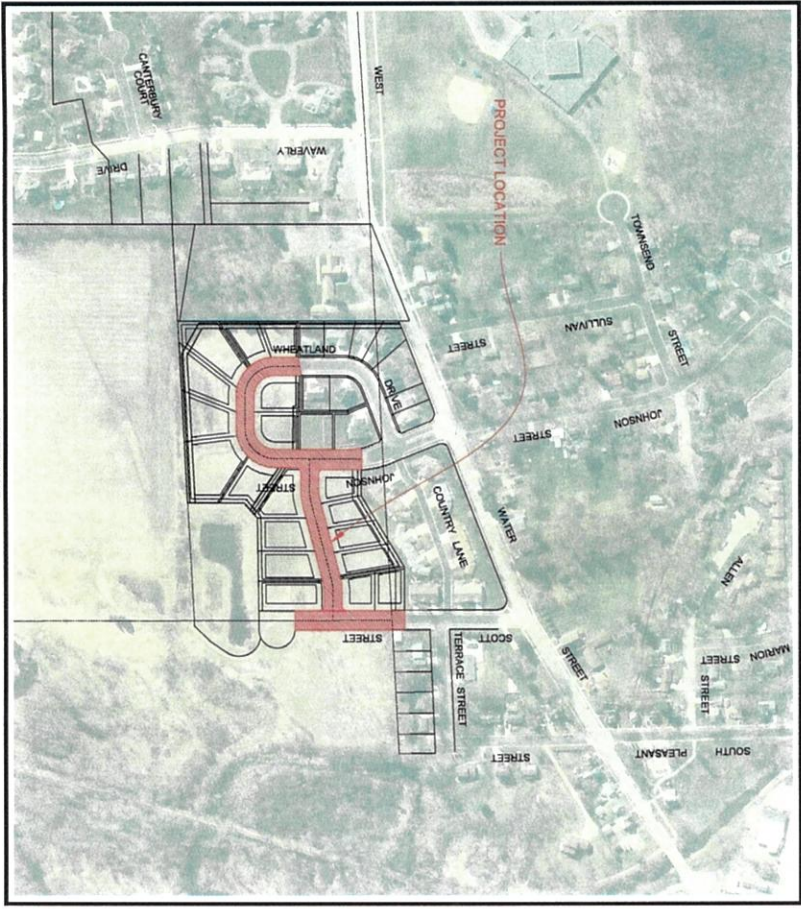
2021 1/4 SECTION 12
 T6N, R12E
 2021 1/4 SECTION 12
 T6N, R12E

OVERALL LENGTH
 264.02'

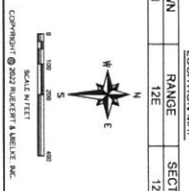
SCOTT FARMS SUBDIVISION

FOREST LANDSCAPING & CONSTRUCTION

DANE COUNTY, WISCONSIN



ORIGINAL PLAN SET
IS IN COLOR



LEGEND - CIVIL ENGINEERING DRAWINGS

CONTROL	SANITARY SEWER	UTILITIES	WATER MAIN
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CHECKED BY: _____

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Global Water Center • Fox Valley
www.ruekertmielke.com

PROJECT NUMBER: 238C-10001

SCOTT FARMS SUBDIVISION

FOREST LANDSCAPING & CONSTRUCTION

DANE COUNTY, WISCONSIN

SHEET NO. LOCATION DESCRIPTION

GENERAL

INDEX NO.	DESCRIPTION
INDEX-01	INDEX SHEET
GH-01	EXISTING CONDITIONS
GH-02	PROPOSED CONDITIONS
GH-03	GENERAL NOTES
GH-04	REMOVALS PLAN
GH-05	PROPOSED GRADING
GH-06	PROPOSED GRADING

TYPICAL SECTIONS

TS-01

TYPICAL SECTIONS

EROSION & TRAFFIC CONTROL

EC-01

PROPOSED EROSION AND TRAFFIC CONTROL PLAN

SANITARY SEWER & WATER MAIN

SW-01	IN WHEEL TLAND DRIVE PROPOSED SANITARY SEWER & WATER MAIN	FROM WHEEL TLAND DRIVE TO WHEEL TLAND DRIVE
SW-02	IN WHEEL TLAND DRIVE PROPOSED SANITARY SEWER & WATER MAIN	FROM WHEEL TLAND DRIVE TO JOHNSON STREET
SW-03	IN JOHNSON STREET PROPOSED SANITARY SEWER & WATER MAIN	FROM JOHNSON STREET TO JOHNSON STREET
SW-04	IN ROAD B PROPOSED SANITARY SEWER & WATER MAIN	FROM JOHNSON STREET TO SCOTT STREET
SW-05	IN SCOTT STREET PROPOSED SANITARY SEWER & WATER MAIN	FROM ROAD B TO SCOTT STREET

INTERSECTION DETAILS

Q-01

INTERSECTION DETAILS

PAVEMENT & STORM SEWER

PS-01	IN WHEEL TLAND DRIVE PROPOSED PAVEMENT & STORM SEWER	FROM WHEEL TLAND DRIVE TO WHEEL TLAND DRIVE
PS-02	IN WHEEL TLAND DRIVE PROPOSED PAVEMENT & STORM SEWER	FROM WHEEL TLAND DRIVE TO JOHNSON STREET
PS-03	IN JOHNSON STREET PROPOSED PAVEMENT & STORM SEWER	FROM WHEEL TLAND DRIVE TO JOHNSON STREET
PS-04	IN ROAD B PROPOSED PAVEMENT & STORM SEWER	FROM JOHNSON STREET TO SCOTT STREET
PS-05	IN SCOTT STREET PROPOSED PAVEMENT & STORM SEWER	FROM JOHNSON STREET TO SCOTT STREET
PS-06	IN STORM BASINMENT PROPOSED STORM DRAINAGE	FROM WHEEL TLAND DRIVE TO SAW SOUTH EAST

CONSTRUCTION DETAILS

DT-01 - DT-11

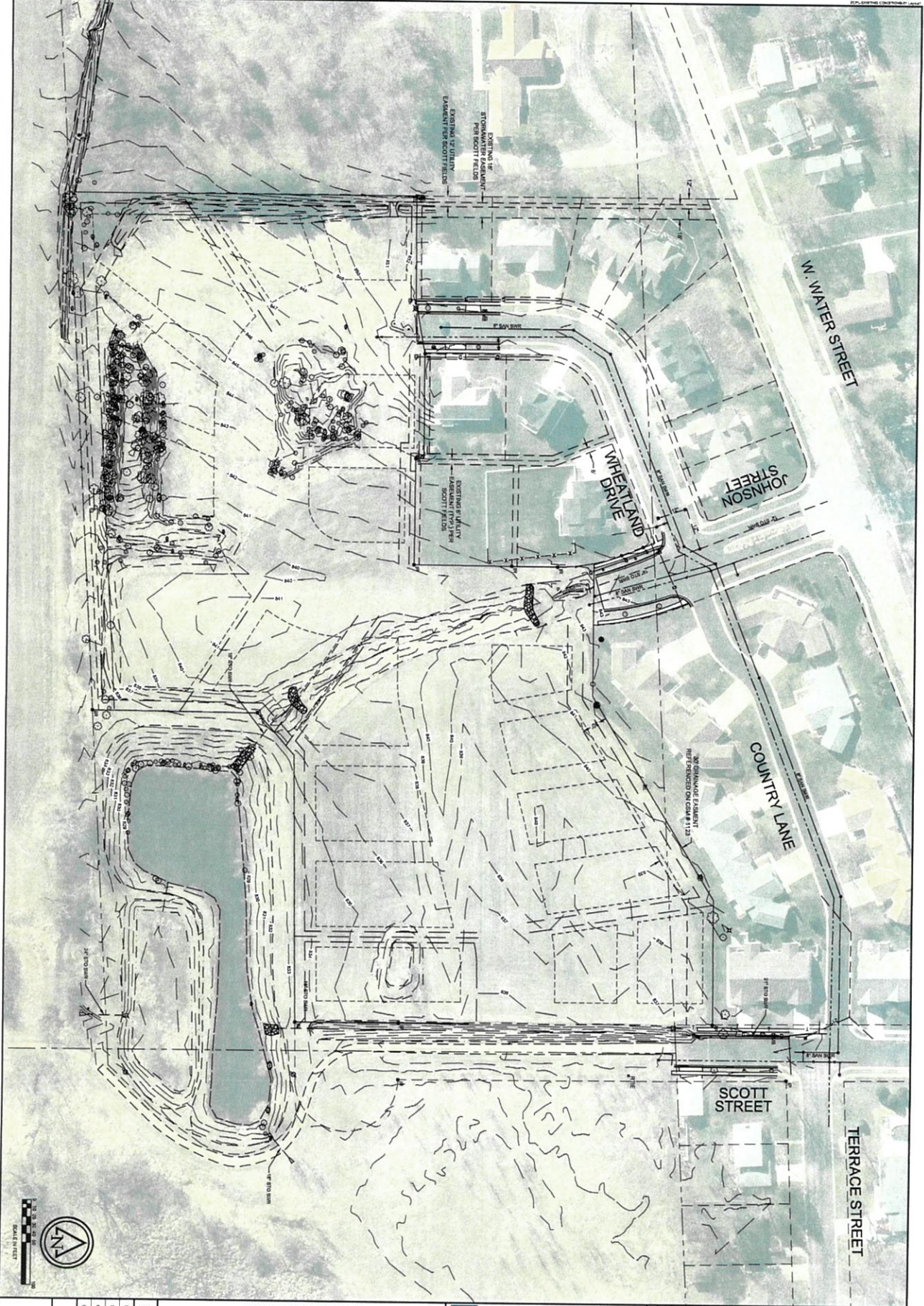
CONSTRUCTION DETAILS

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EC-01	PROPOSED EROSION AND TRAFFIC CONTROL PLAN
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DT-01 - DT-11	CONSTRUCTION DETAILS

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SCOTT FARMS SUBDIVISION
 INDEX SHEET
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

© COPYRIGHT 2023 RUEKERT MIELKE INC.
 DESIGNED BY: JTS
 DRAWN BY: JTS
 CHECKED BY: JTS
 DATE: JAN 2023
 FILE NO: 2380-10001
 SHEET NO: INDEX-01

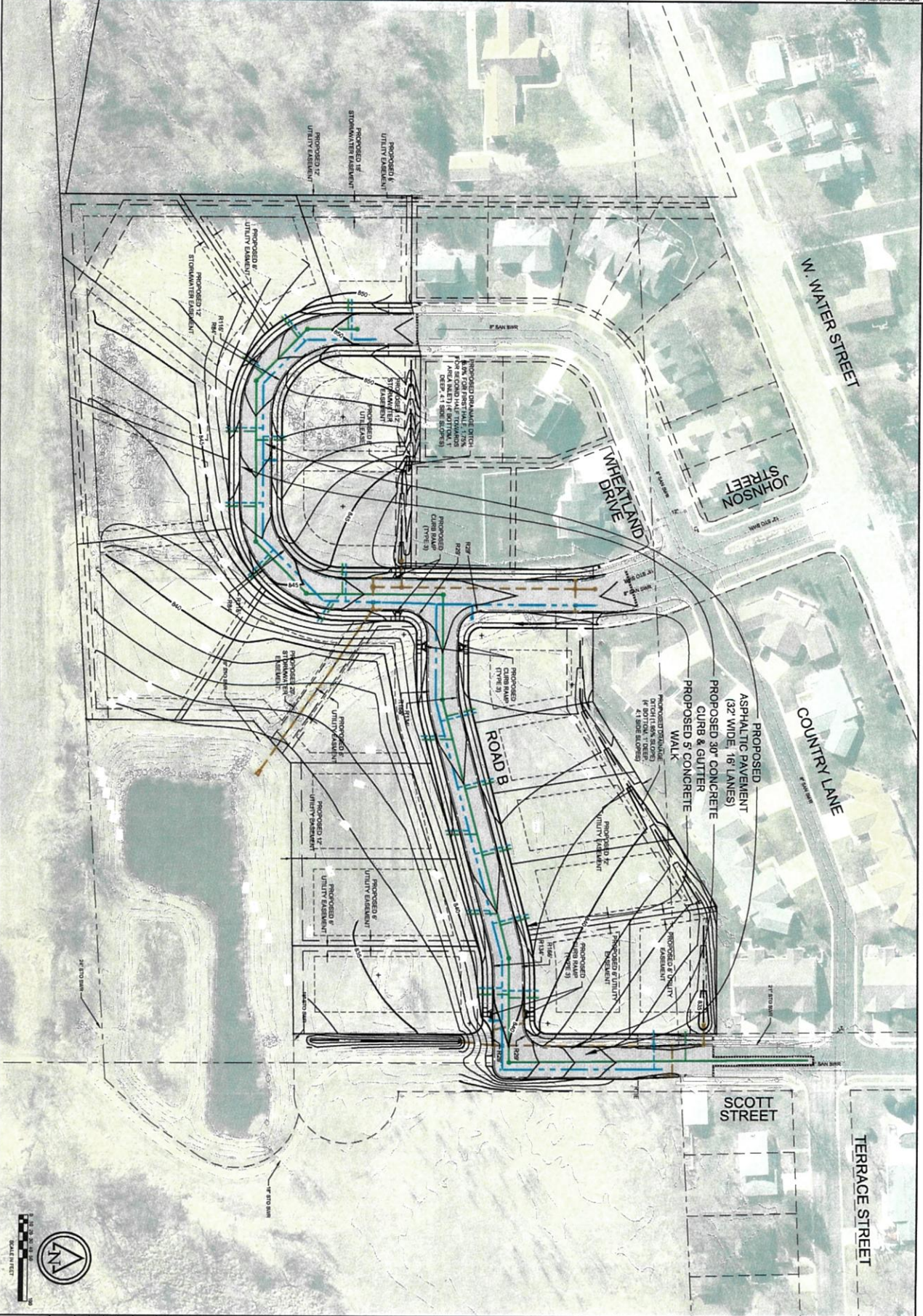


COMPANY: 2002
 PROJECT: 10001
 DESIGNED BY: JRL
 CHECKED BY: JRL
 DATE: JUNE 2007
 TITLE: 2340-10001
 SHEET NO: GN-01

SCOTT FARMS SUBDIVISION
 EXISTING CONDITIONS
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

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TOWN:	RANGE:	SECTION(s):
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SCOTT FARMS SUBDIVISION
 PROPOSED CONDITIONS
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

CONSULTANT'S SEAL
 REGISTERED LANDSCAPE ARCHITECT
 SCHEDULED BY: ALEVE
 DRAWN BY: JTK
 CHECKED BY: JTK
 DATE: JUNE 2025
 2300-10001
 TOWN: RANGE: SECTION(S):
 SHEET NO. GN-02

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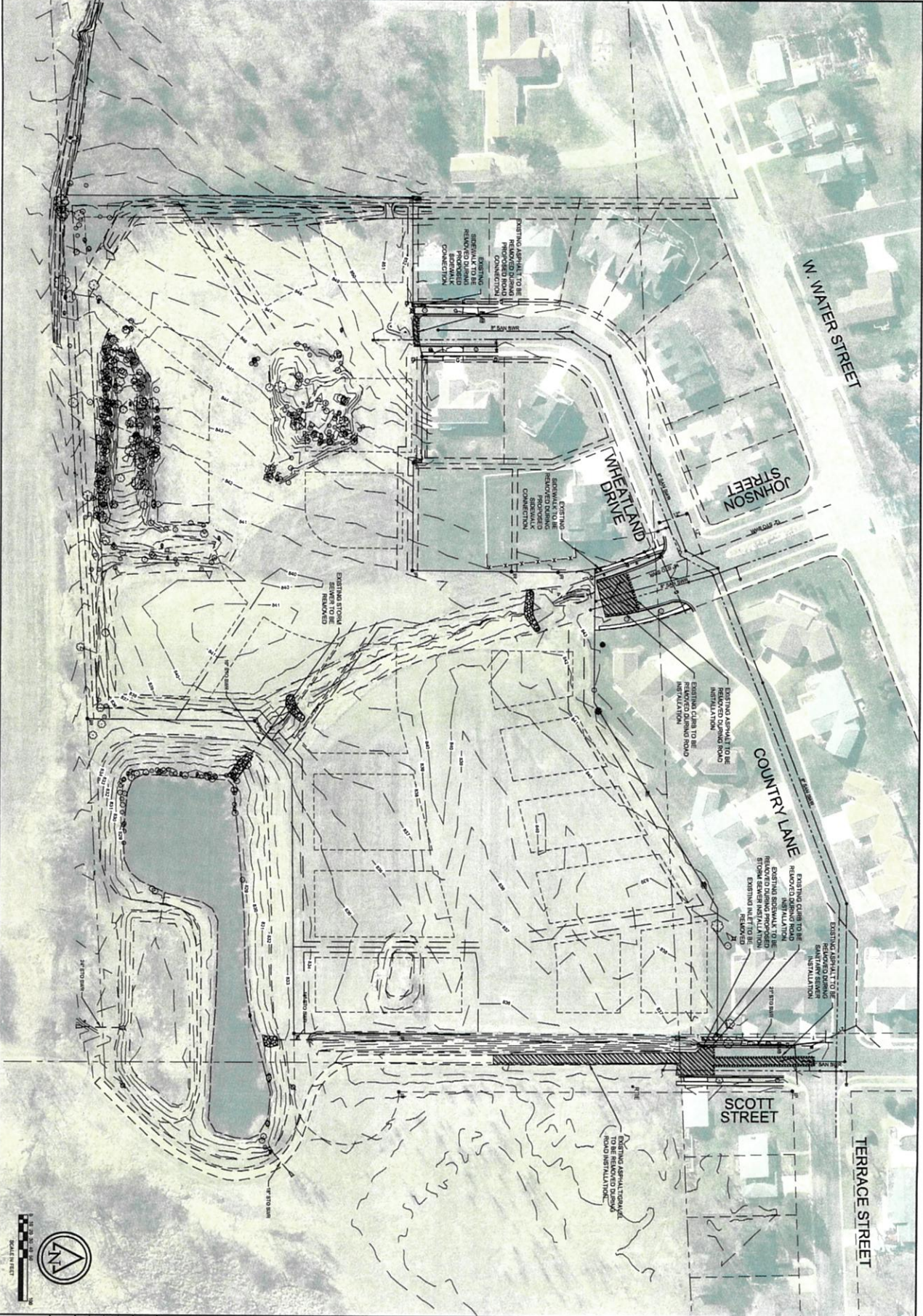
GENERAL NOTES:

1. INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE DONE ONCE PER WEEK AND AFTER EVERY PRECIPITATION EVENT OF 1/2" OR GREATER.
 2. CONTRACTOR SHALL REPAIR DEFICIENT EROSION AND SEDIMENT CONTROL MEASURES WITHIN 24 HOURS AFTER INSPECTION.
 3. ADDITIONAL EROSION AND/OR SEDIMENT CONTROL MEASURES MAY BE NECESSARY AS A RESULT OF THE CONTRACTOR'S METHOD OR AS DIRECTED BY VILLAGE AND/OR ENGINEER.
 4. CONTRACTOR SHALL NOTIFY AND OBTAIN WRITTEN ACCEPTANCE FROM ENGINEER OR PROPOSED CHANGES TO THE EROSION CONTROL PLAN AND/OR SEDIMENTATION PRIOR TO IMPLEMENTING THE CHANGE.
 5. ENGINEER IS UNDER NO OBLIGATION TO ALTER THE CONSTRUCTION SEQUENCE AND/OR EROSION CONTROL PLAN.
 6. CONTRACTOR SHALL SWEEP CITY STREETS ADJACENT TO EACH PROJECT LOCATION AT THE END OF EACH DAY OR AS DIRECTED BY ENGINEER.
 7. ALL INSTALLATION, MAINTENANCE AND REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN DNR TECHNICAL STANDARDS AND THE TEMPORARY EROSION AND SEDIMENT CONTROL SPECIFICATIONS SECTION 91.13.
 8. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE CONSTRUCTION SEQUENCE AND FOR MAINTAINING AND REPAIRING EROSION AND SEDIMENT CONTROL STRUCTURES WITHIN 24 HOURS AFTER AN INSPECTION.
 9. IF FRENCH DRAINAGE IS NECESSARY, CONTRACTOR SHALL PROVIDE PROPER DEWATERING SEDIMENT CONTROL DEVICE. DISCHARGE OF SEDIMENT LADEN TRENCH WATER TO THE STREET, STORM SEWER OR SURFACE WATER IS PROHIBITED.
 10. THE LOCATION OF EXISTING UTILITIES AND OBJECTS ARE SHOWN FROM AVAILABLE INFORMATION AND THE LOCATION AS SHOWN SHALL NOT BE GUARANTEED. CONTRACTOR SHALL VERIFY ALL UTILITIES AND OBJECTS PRIOR TO ALL UTILITIES OR OBJECTS WHETHER OR NOT SHOWN ON THE PLANS AND RELOCATE THEM TO THEIR ACTUAL LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE VILLAGE ENGINEER PRIOR TO REQUESTING ANY CHANGES TO THE CONSTRUCTION SEQUENCE.
 11. TRAFFIC CONTROL SIGNALS ARE FOR REPRESENTATION; VISIBOT STANDARDS SHALL BE FOLLOWED.
- GENERAL WATER MAIN & SANITARY SEWER CONSTRUCTION NOTES:**
1. WATER MAIN BURIED DEPTH TO TOP OF PIPE SHALL BE 6.5 MINIMUM.
 2. ALL WATER MAIN AND STORM SEWER CROSSINGS SHALL BE INSULATED WITH A 2" x 4" # 8 SHEET OF POLYETHYLENE INSULATION.
 3. ALL WATER SERVICE AND STORM SEWER CROSSINGS SHALL BE INSULATED WITH A 2" x 2" # 8 SHEET OF POLYETHYLENE INSULATION.
 4. VILLAGE OF CAMBRIDGE PERSONNEL WILL OPERATE ALL WATER VALVES IN CONNECTION WITH THIS PROJECT. CONTRACTOR SHALL NOTIFY THEM A MINIMUM OF 24 HOURS PRIOR TO ANY VALVES BEING OPERATED.
 5. CURB STOPS SHALL BE LOCATED WITHIN THE TRENCH UNLESS OTHERWISE SHOWN OR AS DIRECTED BY THE VILLAGE OF CAMBRIDGE/ENGINEER.
 6. CURB STOP LOCATIONS SHALL BE SCRIBED OR STAMPED INTO THE CURB HEAD WHEN CURB & GUTTER IS BEING POURED BY PLACING AN "X" FOR SEWER LOCATION BOXES AND A "V" INTO THE TOP OF CURB HEAD IN LINE WITH THE CURB STOP AND WATER SERVICE.
 7. FINAL GRADE ON ALL VALVE BOXES SHALL BE 0.25' BELOW FINISH GRADE.
 8. PRIOR TO CONSTRUCTION, VERIFY LOCATION AND ELEVATION OF CONNECTION POINTS INCLUDING MAINS AND SERVICES. NOTIFY ENGINEER OF ANY DISCREPANCIES.
 9. PROPOSED WATER MAIN VALVES THAT ARE ON DEAD ENDS OR HAVE A PLUG & BUTTRESS SHALL HAVE 4" PVC PIPE WITH CAP, CUT TO FIT, INSERTED INTO VALVE BOX TO PREVENT ACCIDENTAL OPENING.
 10. LOCATION BOXES FOR SEWER LATERALS SHALL BE LOCATED AT THE CENTER OF THE TRENCH UNLESS OTHERWISE SHOWN OR DIRECTED BY THE VILLAGE OF CAMBRIDGE/ENGINEER.
 11. TRACER WIRE SHALL BE INSTALLED WITH INSTALLATION OF ALL SANITARY LATERAL SERVICES, AND NON-CONDUCTIVE PIPE.
 12. CONTRACTOR MUST TELEPHONE SANITARY SEWER AND PROVIDE RESULTS TO VILLAGE ENGINEER.
- CONSTRUCTION SEQUENCE:**
1. INSTALL WORK ZONE TRAFFIC CONTROL MEASURES AS APPROVED BY VILLAGE.
 2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL PRACTICES IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS.
 3. STAGE WORK CONSTRUCTION BY WORK LOCATION.
 4. IN GENERAL, BEGIN CONSTRUCTION ACTIVITIES AS SHOWN ON DRAWINGS AND IN ACCORDANCE WITH SPECIFICATIONS.
 - a. INSTALL SANITARY SEWER.
 - b. INSTALL WATER MAIN.
 - c. INSTALL STORM SEWER.
 5. INSTALL OR ADJUST EROSION CONTROL MEASURES IN NEW FACILITIES. INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY.
 6. APPLY TEMPORARY SEED ON ALL DISTURBED AREAS WITHIN 7 DAYS AFTER DISTURBANCE IS COMPLETED.
 7. CONSTRUCT ROADWAY TO SUBGRADE. INSTALL CURB & GUTTER, ROAD BASE, PAVEMENTS AND SIDEWALK.
 8. APPLY TEMPORARY SEED ON ALL DISTURBED AREAS WITHIN 7 DAYS AFTER DISTURBANCE IS COMPLETED.
 9. COMPLETE FINAL RESTORATION INCLUDING BUT NOT LIMITED TO TOPSOIL, FERTILIZER, SEED, EROSION MATTING, AND MULCH.
 10. REMOVE WORK ZONE TRAFFIC CONTROL MEASURES.
 11. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER 70% GROWTH DENSITY HAS OCCURRED IN 70% OF RESTORATION AREAS. RESTORE DISTURBED AREAS AROUND REMOVED DEVICES AND CLEAN OUT STORM WATER STRUCTURE. CLEAN SITE.

UTILITY CONTACTS:

THE DNR - EROSION AND SEDIMENTATION TECHNICIAN
 ALLIANT ENERGY
 2147 COUNTY ROAD PB
 VERONA, WI 53593
 CELL: (800) 572-5244
 FRANK WOSNICK - CONSTRUCTION COORDINATOR
 SPECTRUM
 400 DANIELS STREET
 MADISON, WI 53704
 PHONE: (608) 215-5983

<p>SCOTT FARMS SUBDIVISION</p> <p>GENERAL NOTES</p> <p>FOREST LANDSCAPING & CONSTRUCTION</p> <p>DANE COUNTY, WISCONSIN</p>	<p>Waukesha • Kenosha • Madison</p> <p>Global Water Center • Fox Valley</p> <p>www.ruekertmelke.com</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%; text-align: center;">7</td> <td style="width: 10%; text-align: center;">6</td> <td style="width: 10%; text-align: center;">5</td> <td style="width: 10%; text-align: center;">4</td> <td style="width: 10%; text-align: center;">3</td> <td style="width: 10%; text-align: center;">2</td> <td style="width: 10%; text-align: center;">1</td> <td style="width: 10%; text-align: center;">TOWN:</td> <td style="width: 10%; text-align: center;">RANGE:</td> <td style="width: 10%; text-align: center;">SECTION(S):</td> </tr> <tr> <td style="text-align: center;">7</td> <td style="text-align: center;">6</td> <td style="text-align: center;">5</td> <td style="text-align: center;">4</td> <td style="text-align: center;">3</td> <td style="text-align: center;">2</td> <td style="text-align: center;">1</td> <td></td> <td></td> <td></td> </tr> </table>	7	6	5	4	3	2	1	TOWN:	RANGE:	SECTION(S):	7	6	5	4	3	2	1			
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<p>© COPYRIGHT 2022 RUEKERT MIELKE LLC</p> <p>DESIGNED BY: JBT</p> <p>DRAWN BY: JBT</p> <p>CHECKED BY: JBT</p> <p>DATE: JAN 2022</p> <p>TALK NO: 2380-10001</p>	<p>SHEET NO: GN-03</p>																					



COMPANY: 2023
 DESIGNER: JALIVE
 CHECKED BY: JALIVE
 DATE: JUNE 2023
 FILE NO: 2380-10001

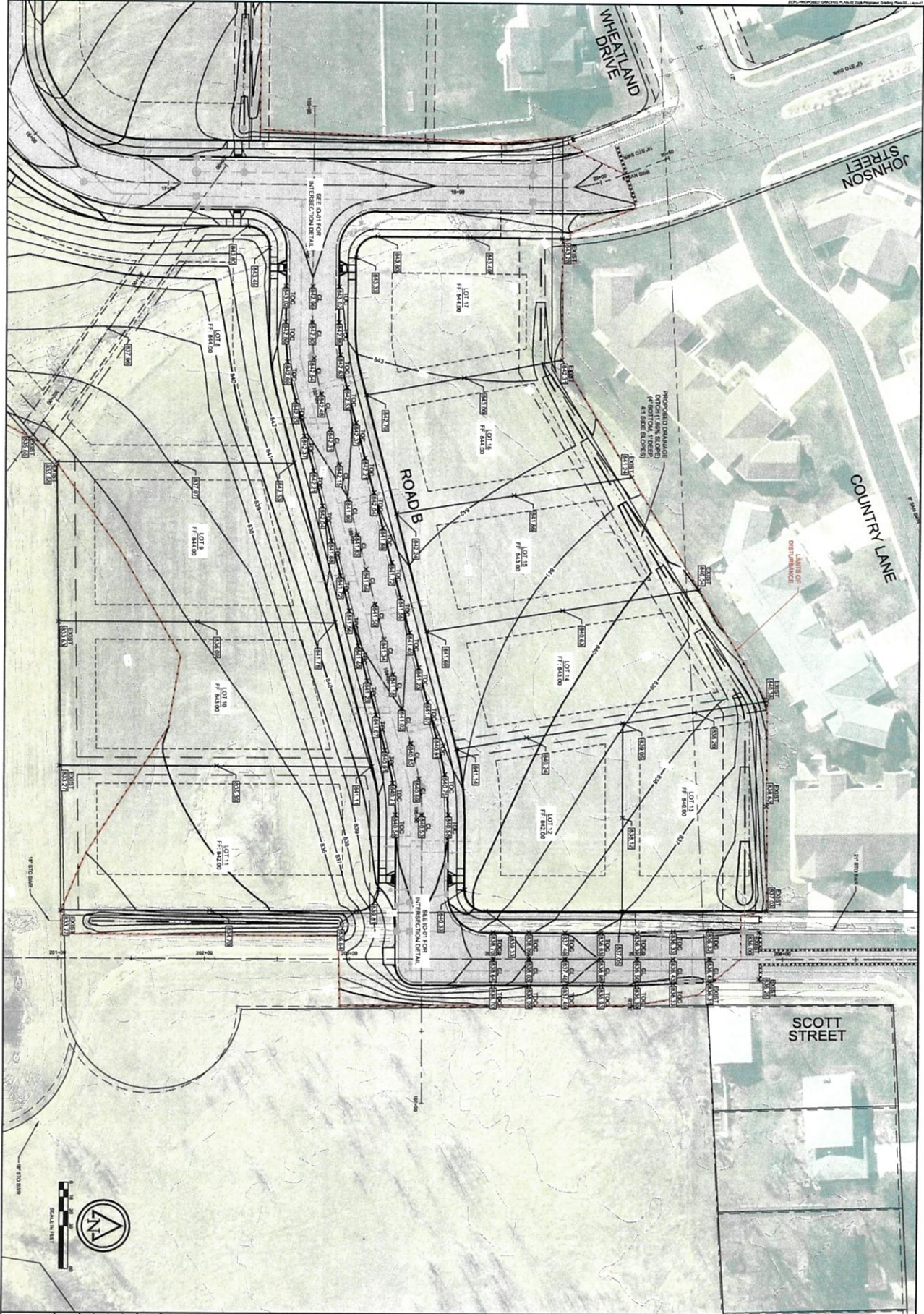
SCOTT FARMS SUBDIVISION
 REMOVALS PLAN
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

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TOWN: 6N	RANGE: 12E	SECTION(s): 12 NW
99% PLANS		

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 CLIENT: FOREST LANDSCAPING & CONSTRUCTION 10001 Scott Farms Subdivision/Proposed Grading Plan-01.dwg

DATE PLOTTED: 04/08/2023 12:00 PM

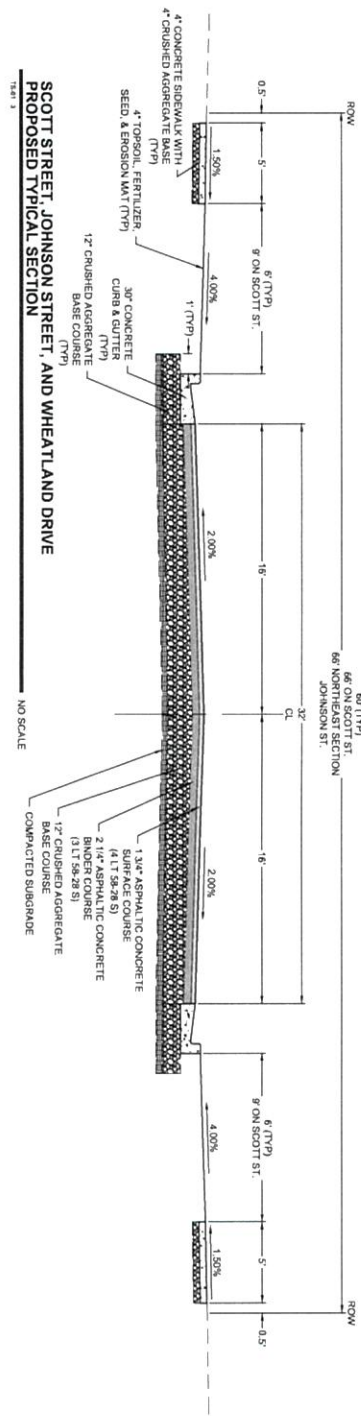


SHEET NO. GN-06
 DATE: 04/08/2023
 2380-10001
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

SCOTT FARMS SUBDIVISION
 PROPOSED GRADING
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

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 Waukesha • Kenosha • Madison
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TOWN: 6N	RANGE: 12E	SECTION(s): 12 NW
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**SCOTT STREET, JOHNSON STREET, AND WHEATLAND DRIVE
 PROPOSED TYPICAL SECTION**

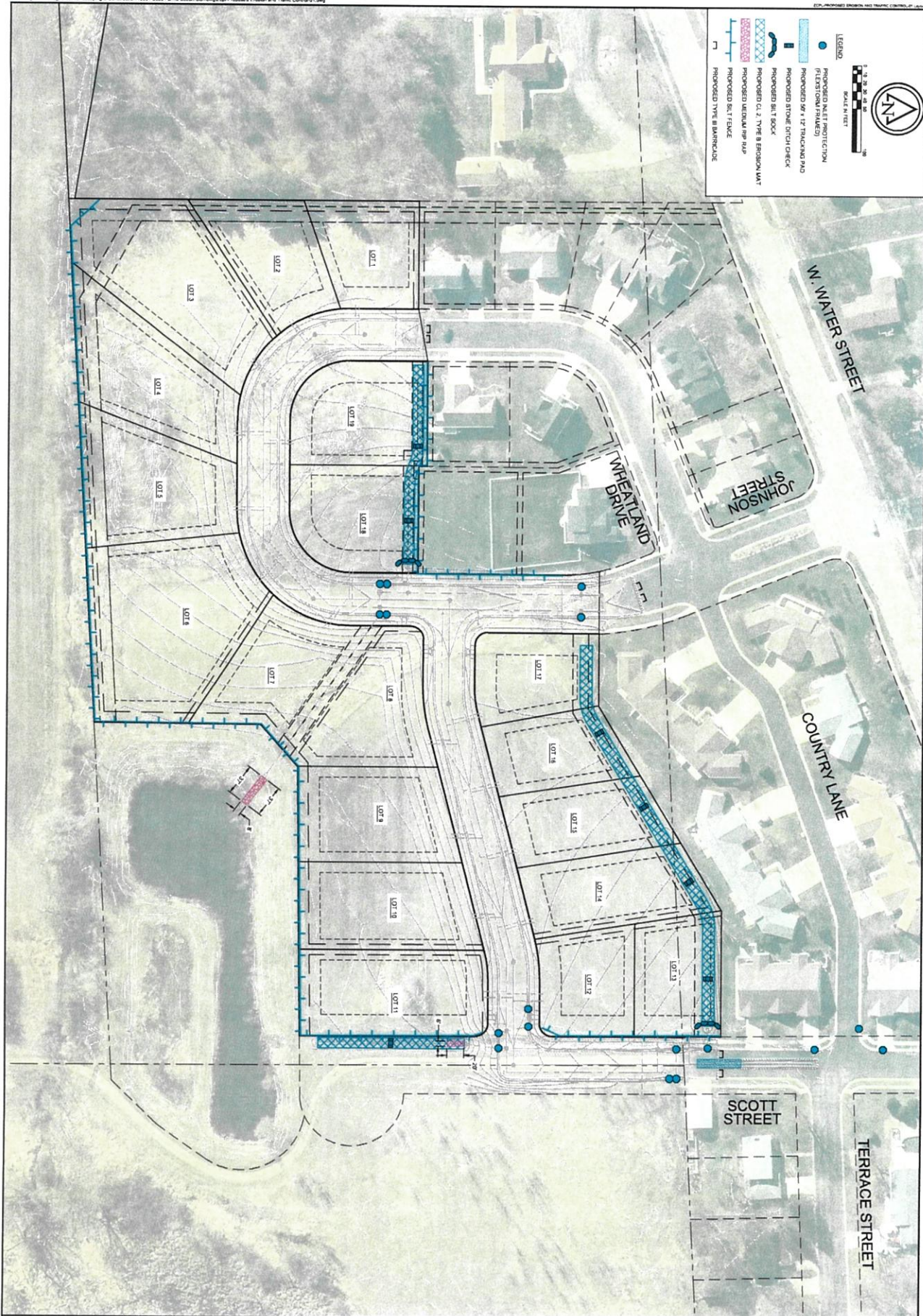
NO SCALE

© COPYRIGHT and REGISTERED TRADE NAME	DESIGNED BY: JIANG
DRAWN BY: JIANG	CHECKED BY: JIANG
DATE: 06/08/2023	SCALE: AS SHOWN
2380-18001	
SHEET NO. TS-01	

SCOTT FARMS SUBDIVISION
 TYPICAL SECTIONS
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

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TOWN:	RANGE:	SECTION(S):

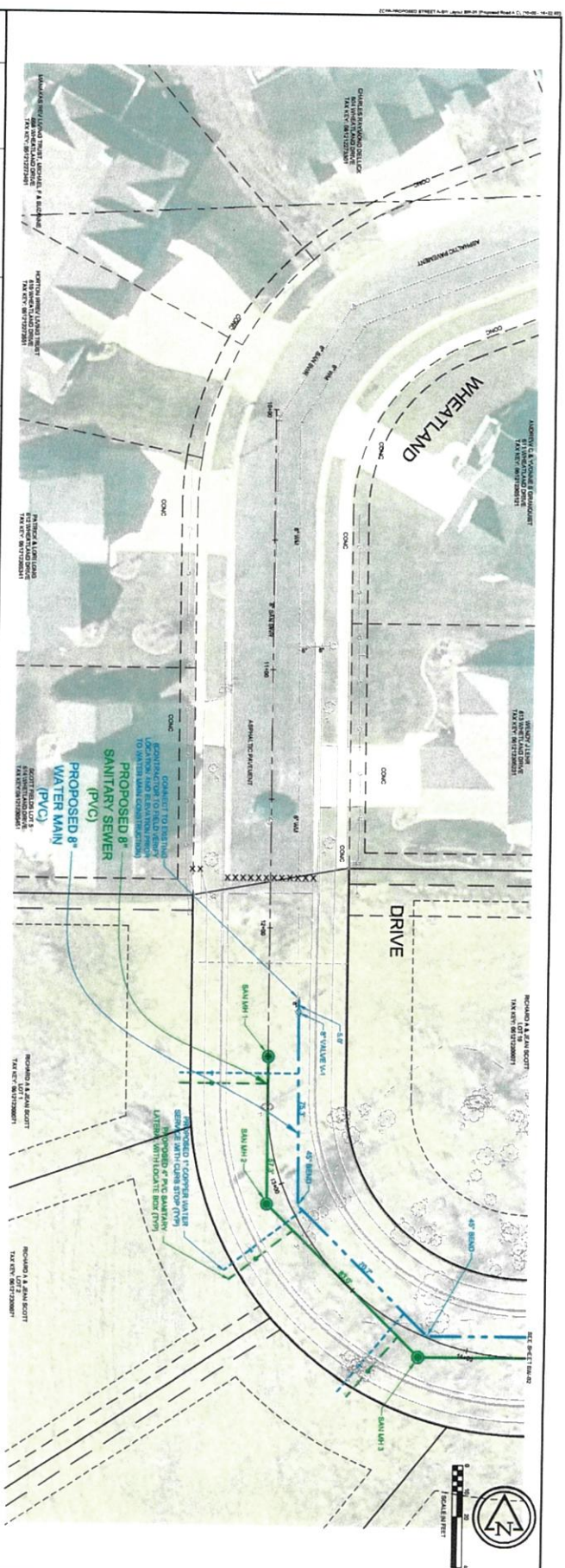
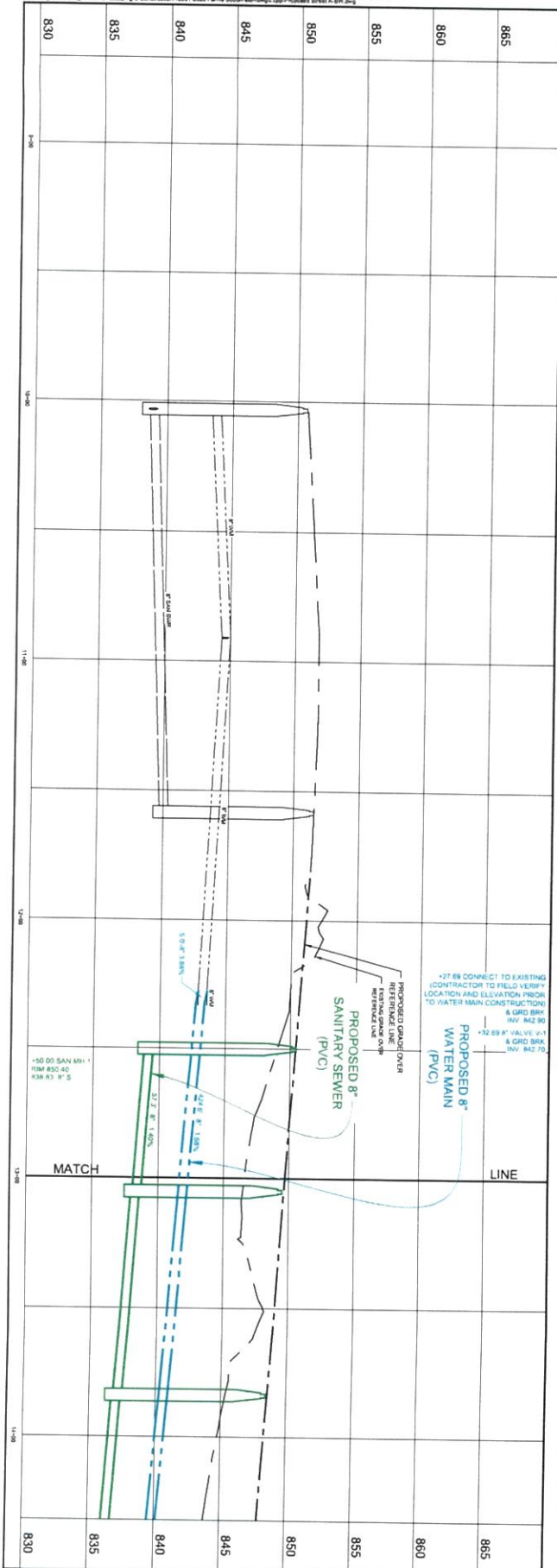


SHEET NO. EC-01	DATE PLOTTED	23/0-10/01
	DATE MADE	23/0-10/01
	DATE CHECKED	
	DATE APPROVED	

SCOTT FARMS SUBDIVISION
PROPOSED EROSION AND TRAFFIC CONTROL PLAN
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

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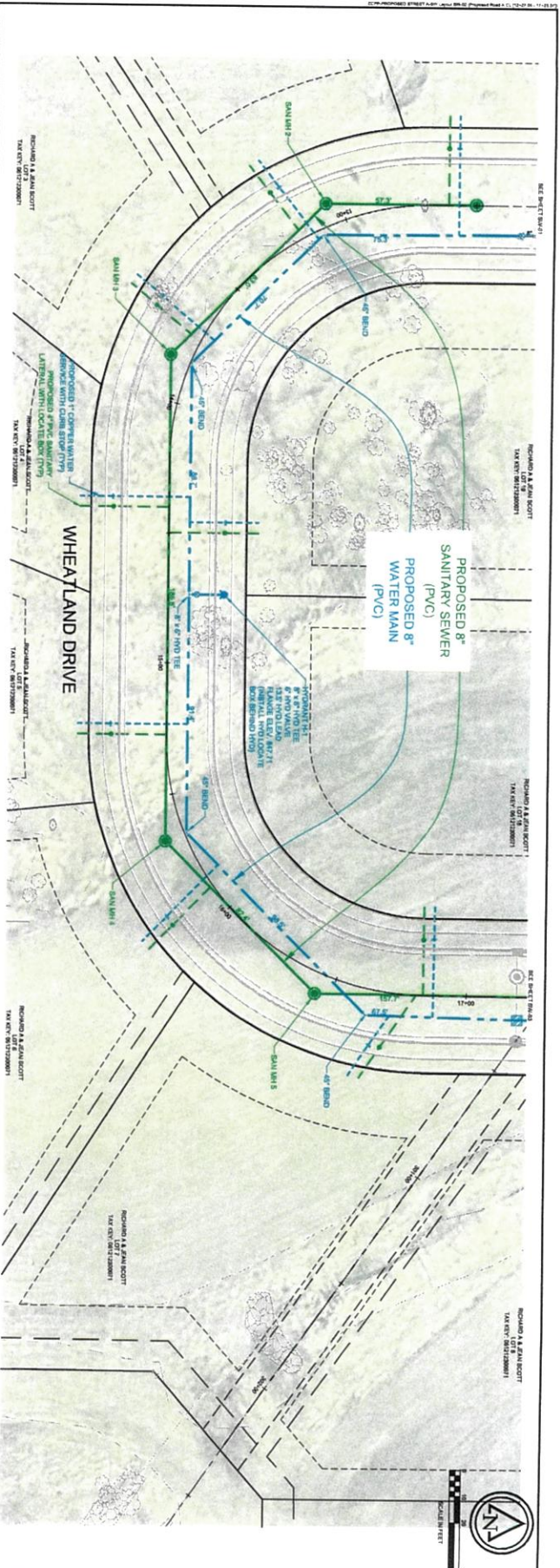
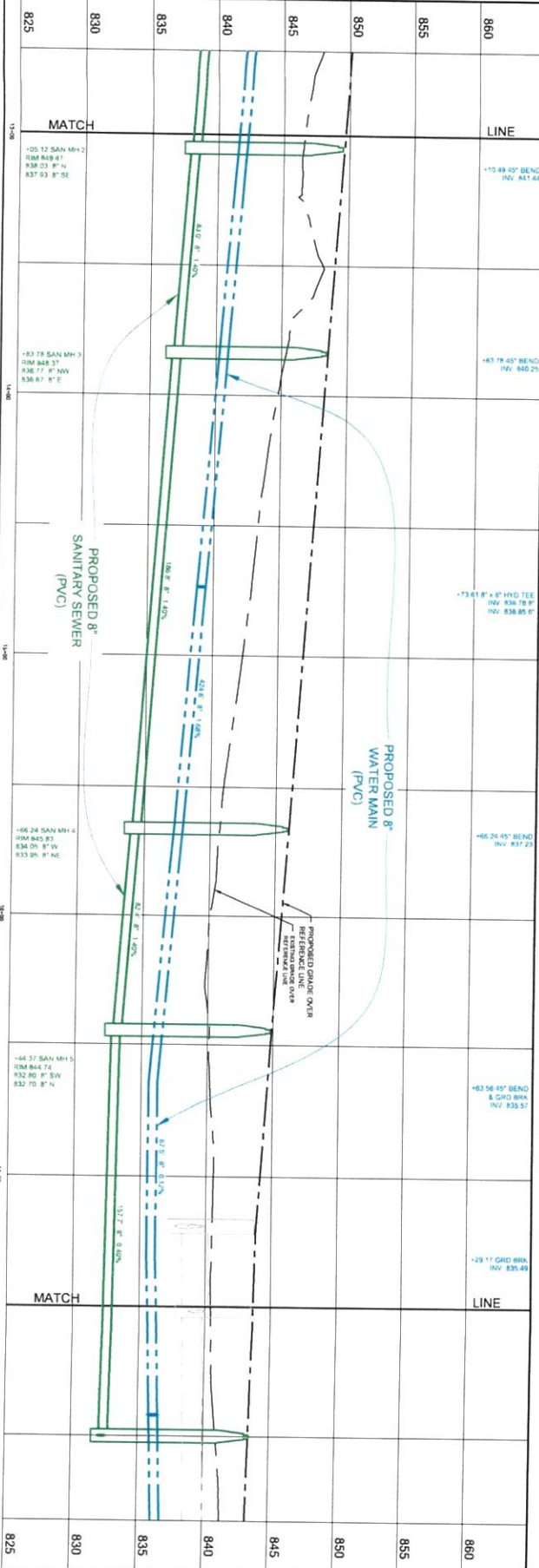
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SCOTT FARMS SUBDIVISION
 PROPOSED SANITARY SEWER & WATER MAIN
 IN: WHEATLAND DRIVE
 FROM: WHEATLAND DRIVE
 TO: WHEATLAND DRIVE
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

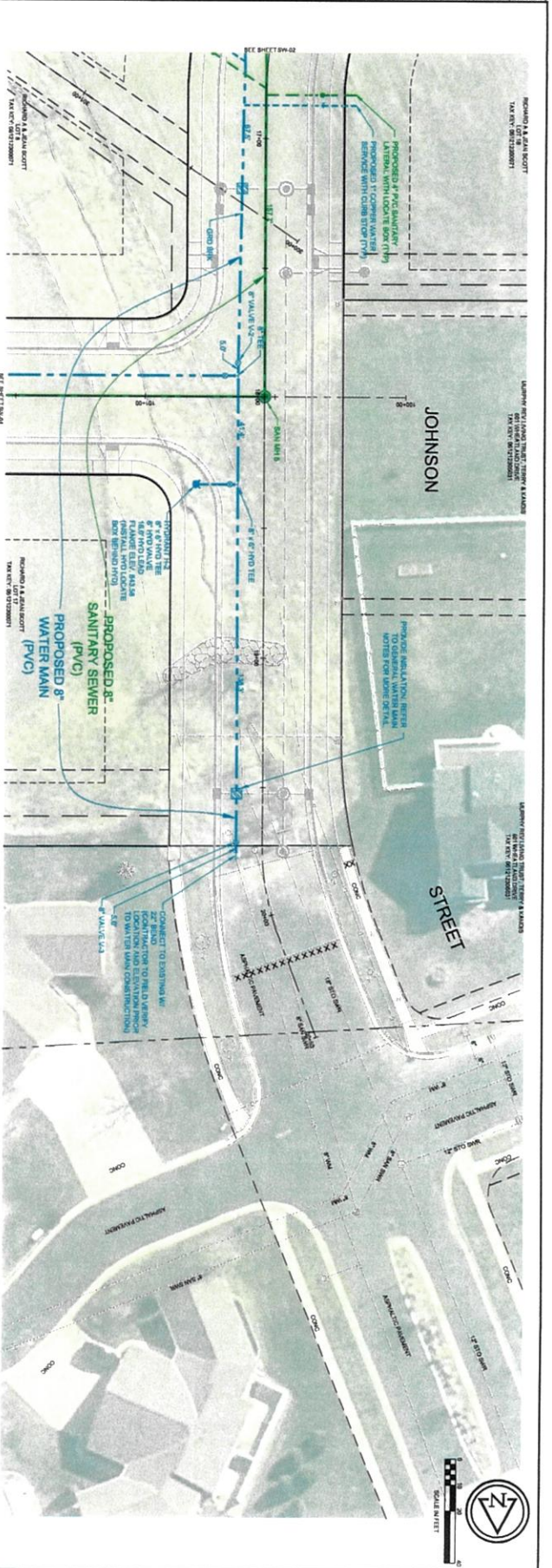
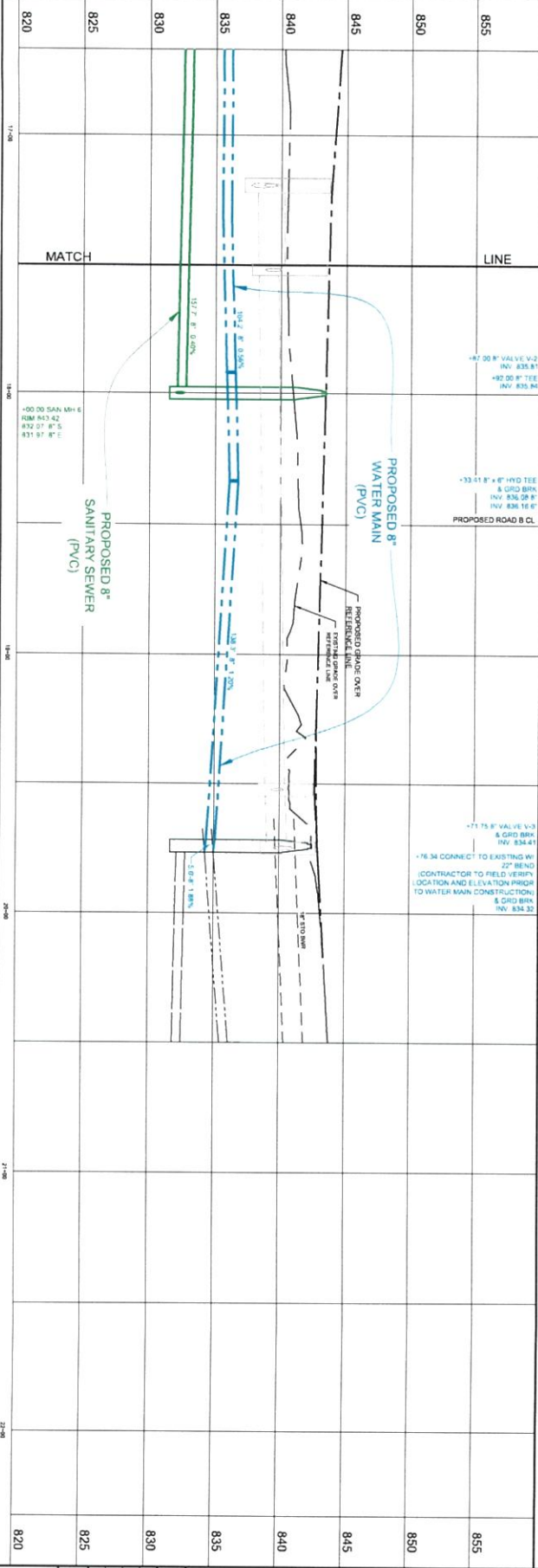
DATE: JUNE 2022
 TALK NO: 2380-10001
 SHEET NO: SW-01

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SCOTT FARMS SUBDIVISION
PROPOSED SANITARY SEWER & WATER MAIN
 IN: WHEATLAND DRIVE
 FROM: WHEATLAND DRIVE
 TO: JOHNSON STREET
FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

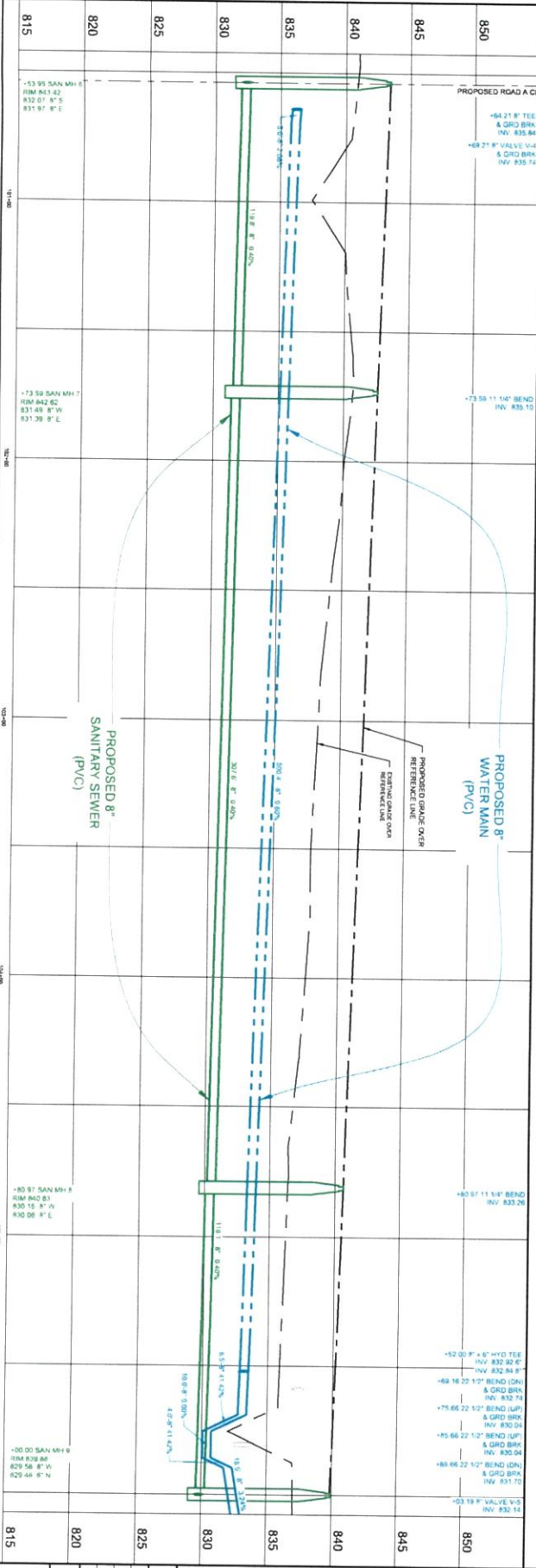
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820	825	830	835	840	845	850	855
SCOTT FARMS SUBDIVISION PROPOSED SANITARY SEWER & WATER MAIN IN: JOHNSON STREET FROM: WHEATLAND DRIVE TO: JOHNSON STREET FOREST LANDSCAPING & CONSTRUCTION DANE COUNTY, WISCONSIN							
SHEET NO. SW-03							

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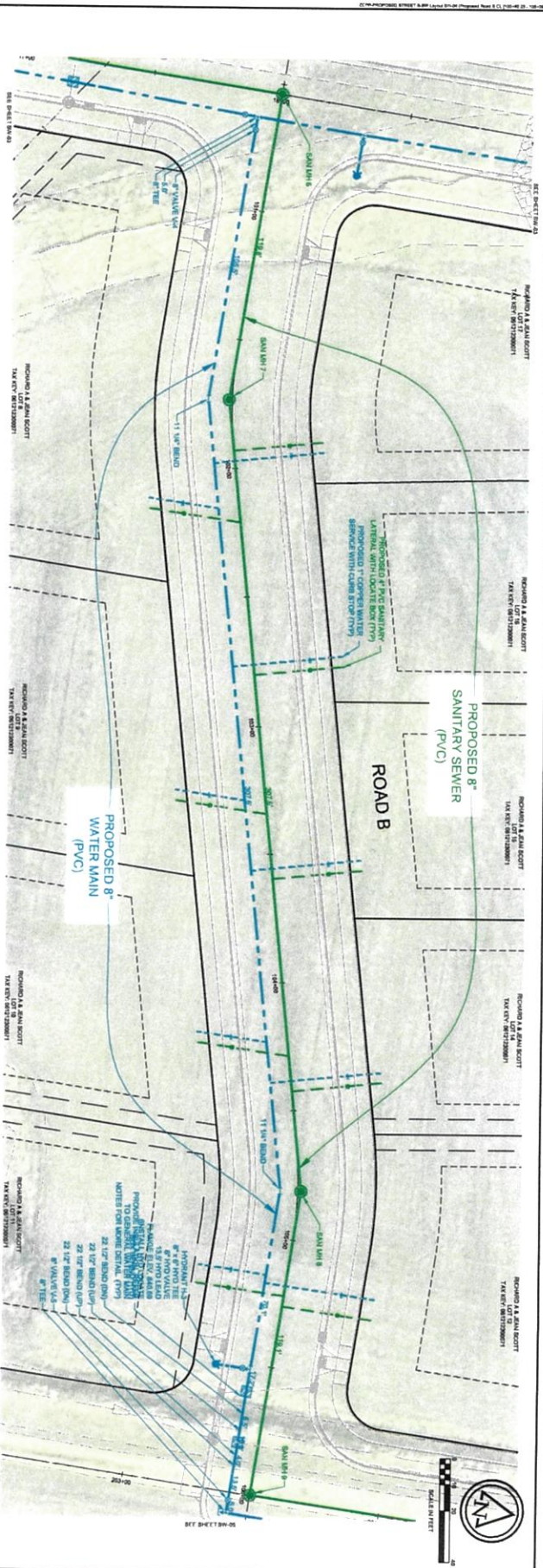
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SCOTT FARMS SUBDIVISION
 PROPOSED SANITARY SEWER & WATER MAIN
 IN: ROAD B
 FROM JOHNSON STREET
 TO SCOTT STREET
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

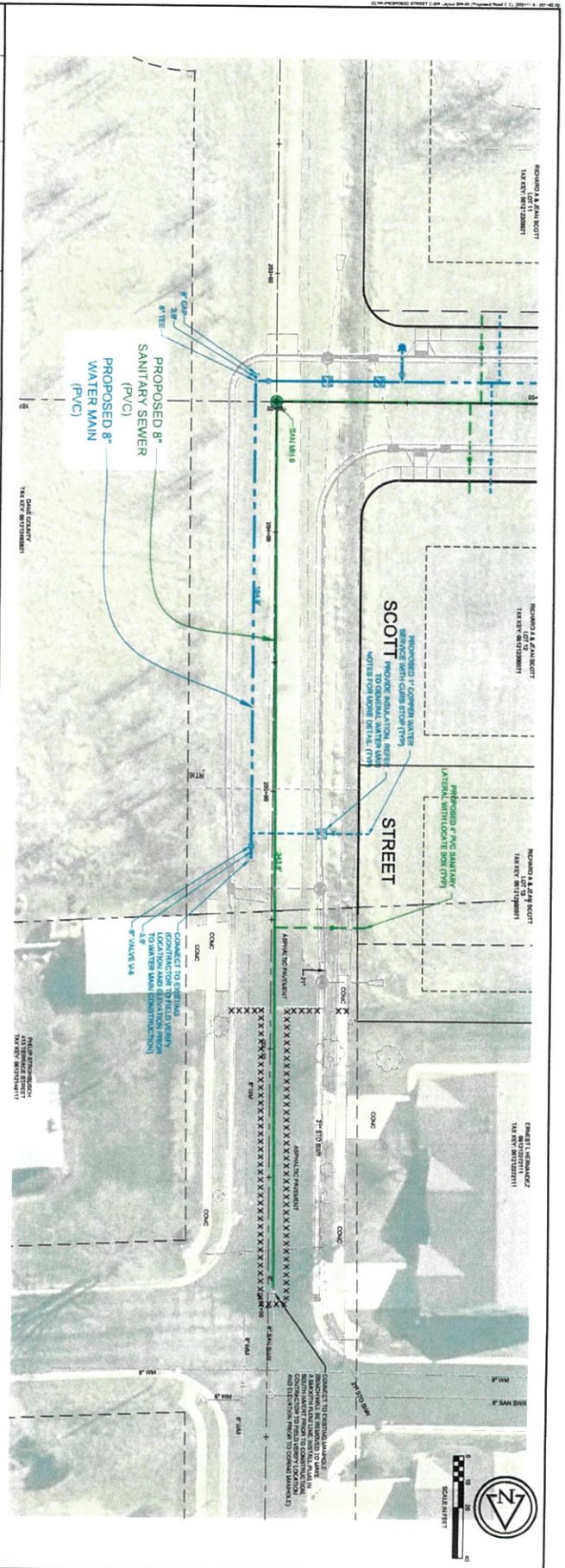
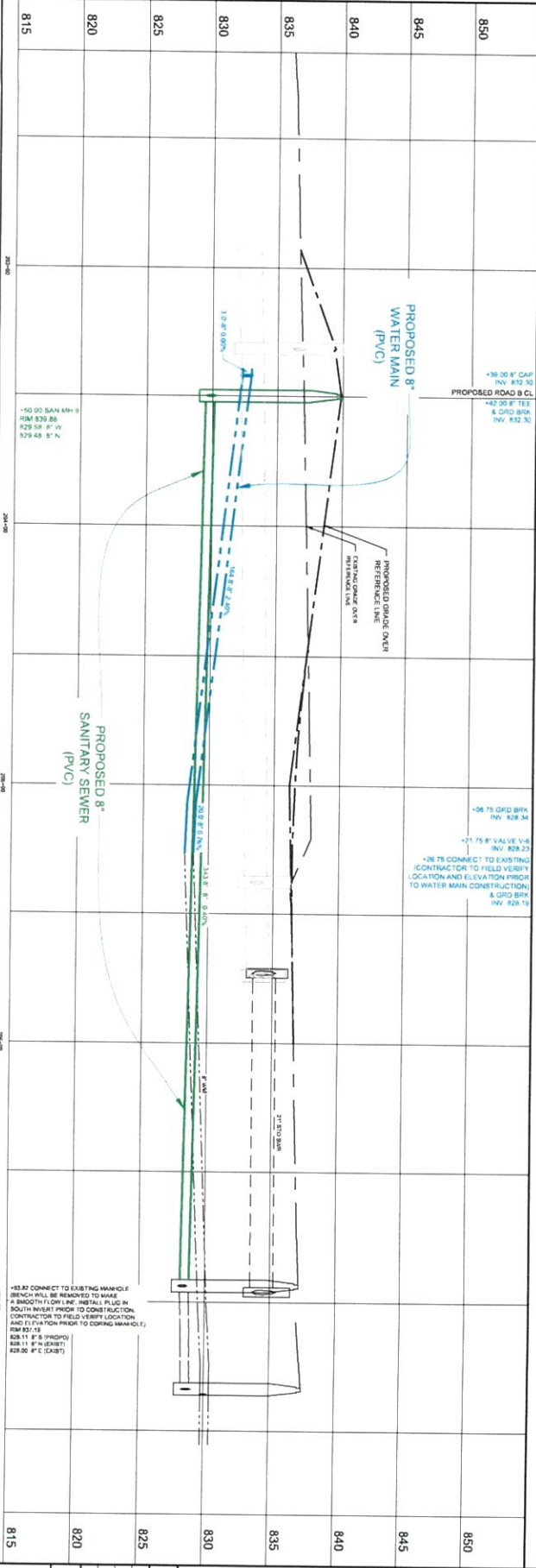
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2380-10001
 SHEET NO. SW-04



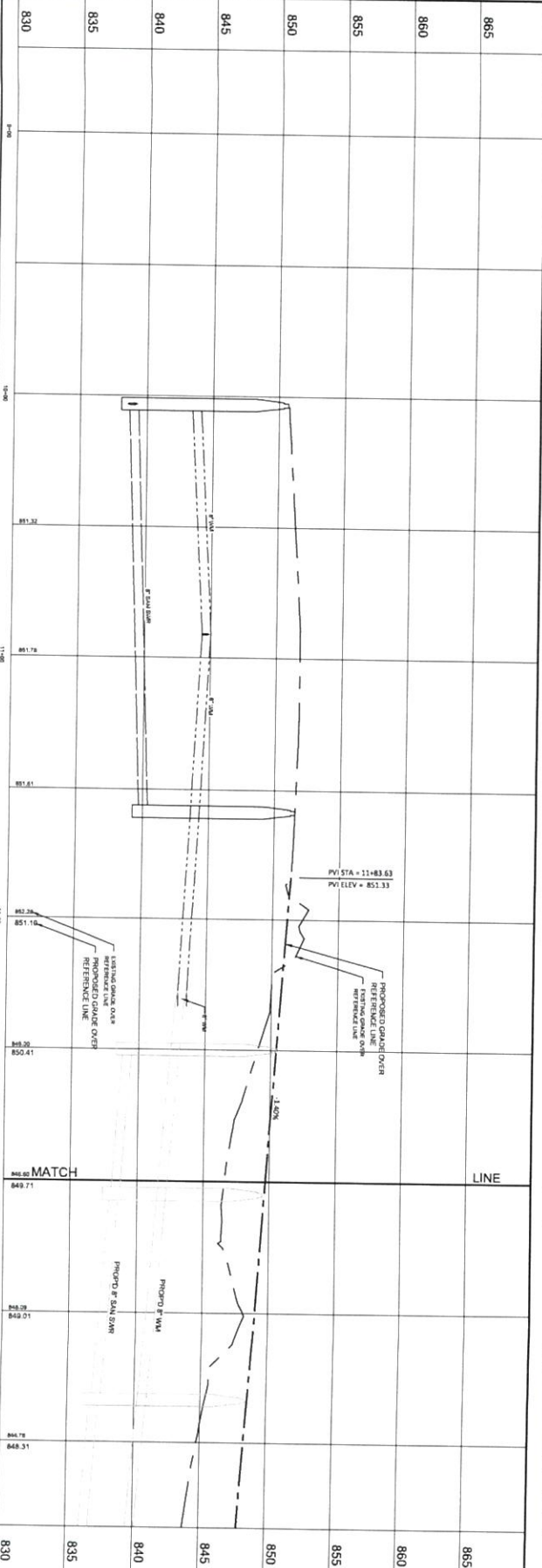
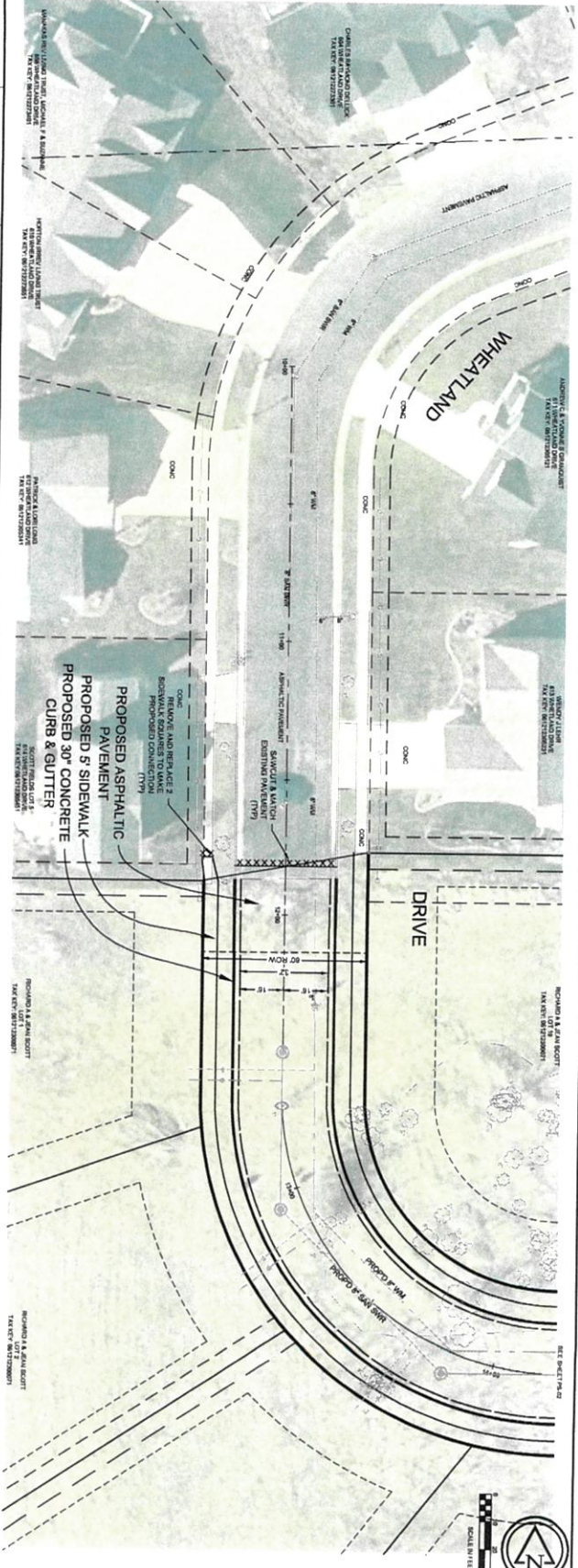
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SCOTT FARMS SUBDIVISION
 PROPOSED SANITARY SEWER & WATER MAIN
 IN: SCOTT STREET
 FROM: ROAD B
 TO: SCOTT STREET
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

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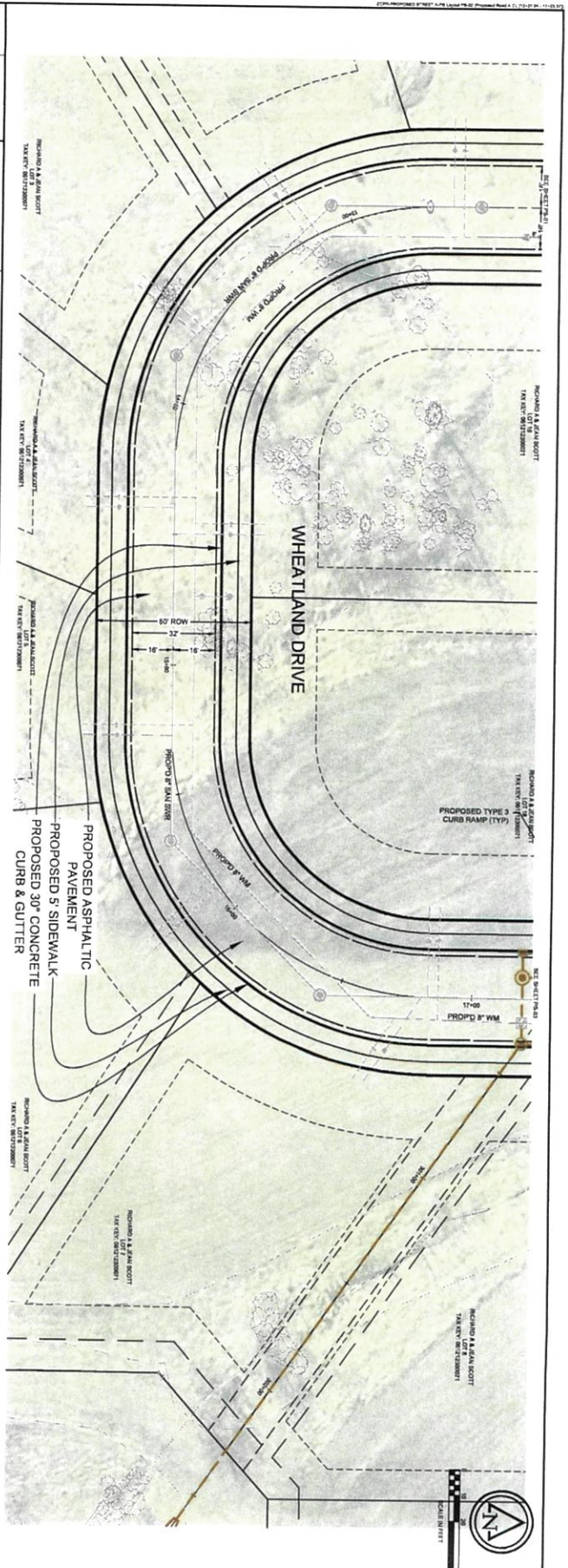
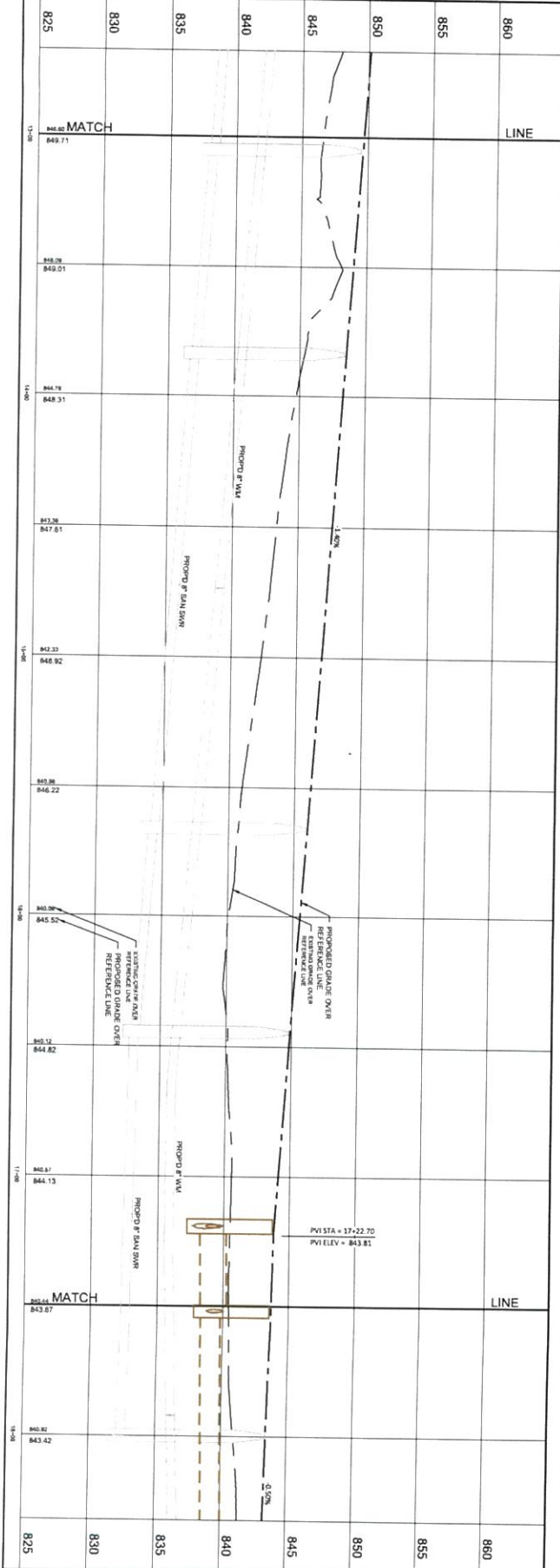


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PS-01	2380-10001	DATE: JUNE 2022	CREATED BY: JN	DESIGNED BY: JN	CHALLENGER: JN	APPROVED BY: JN	DATE: JUNE 2022

SCOTT FARMS SUBDIVISION
 PROPOSED PAVEMENT & STORM SEWER
 IN: WHEATLAND DRIVE
 FROM: WHEATLAND DRIVE
 TO: WHEATLAND DRIVE
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

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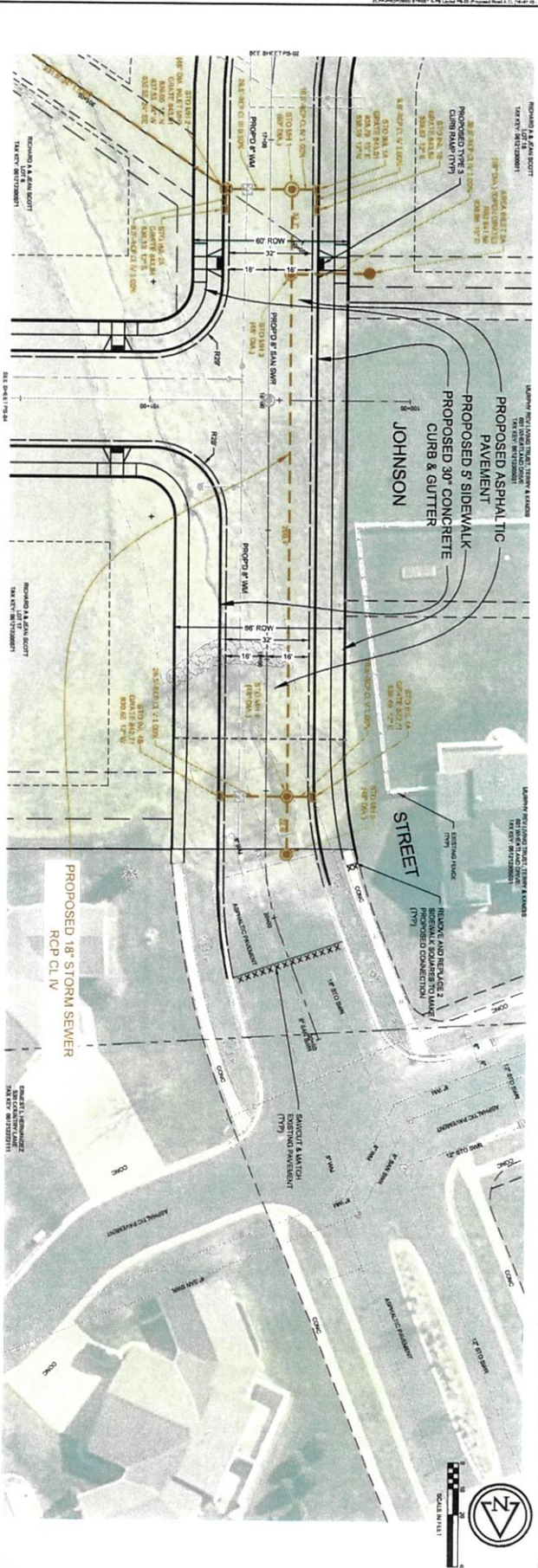
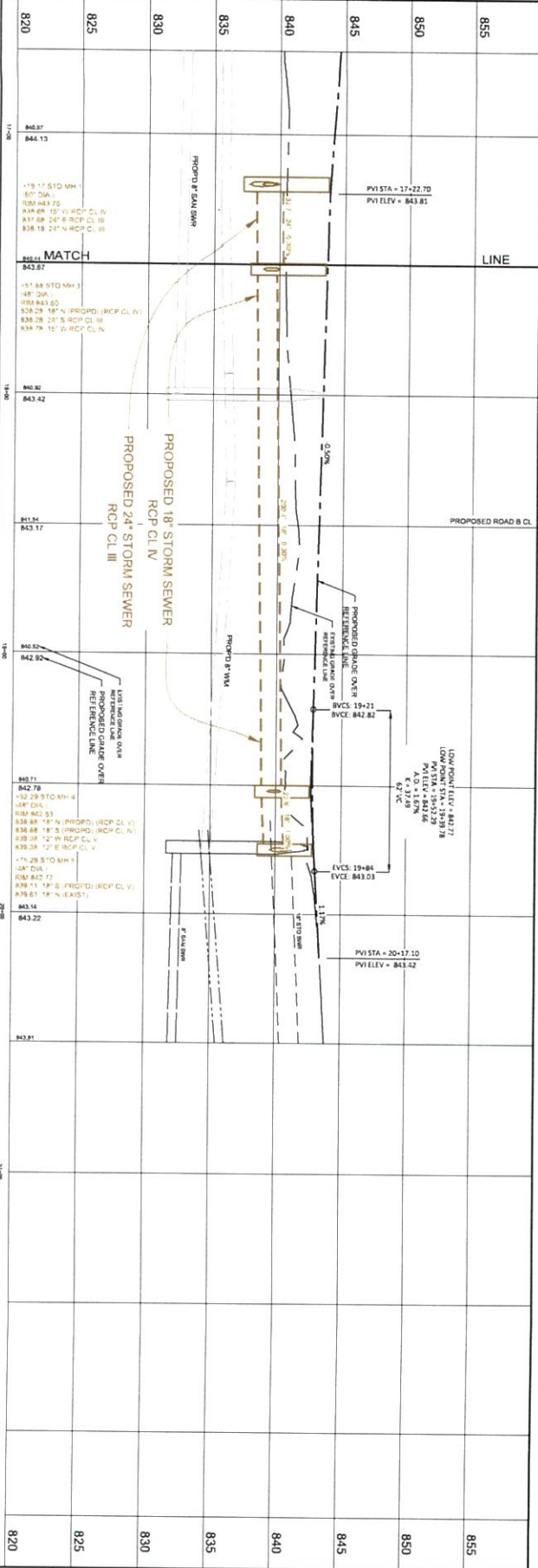




SCOTT FARMS SUBDIVISION
 PROPOSED PAVEMENT & STORM SEWER
 IN: WHEATLAND DRIVE
 FROM: WHEATLAND DRIVE
 TO: JOHNSON STREET
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

DATE: JUNE 2022
 FILE NO: 2380-10001
 SHEET NO: PS-02

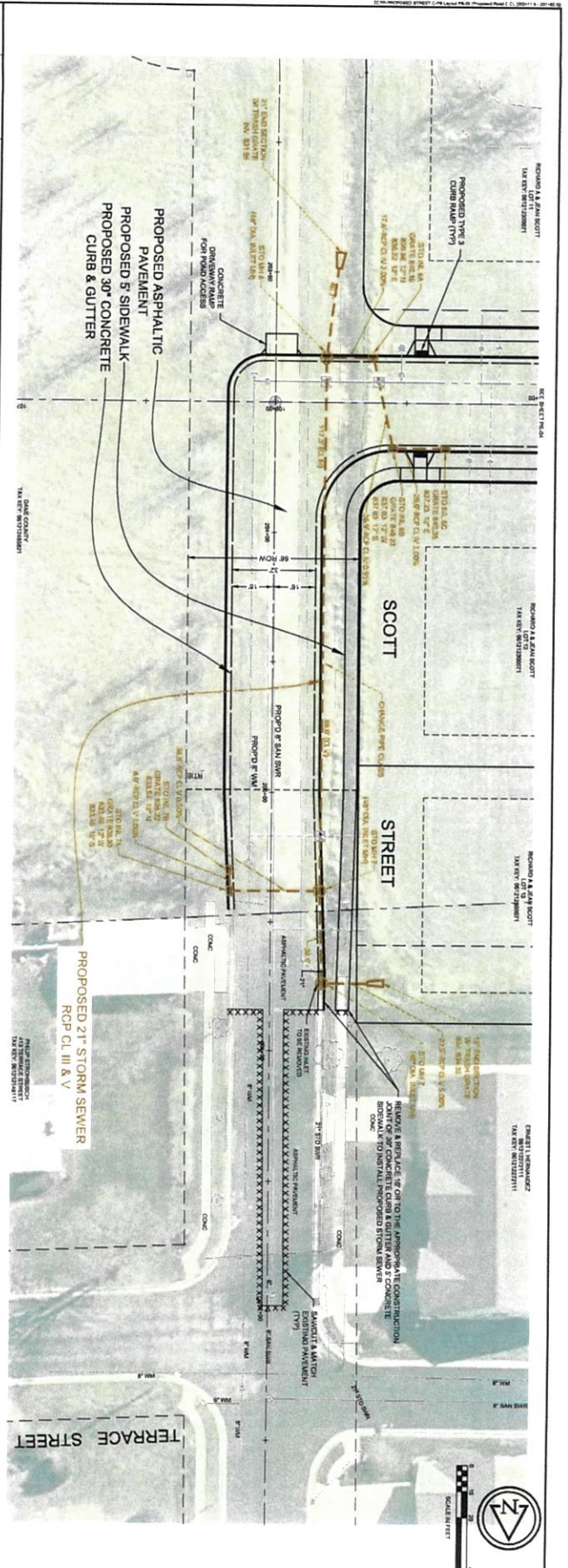
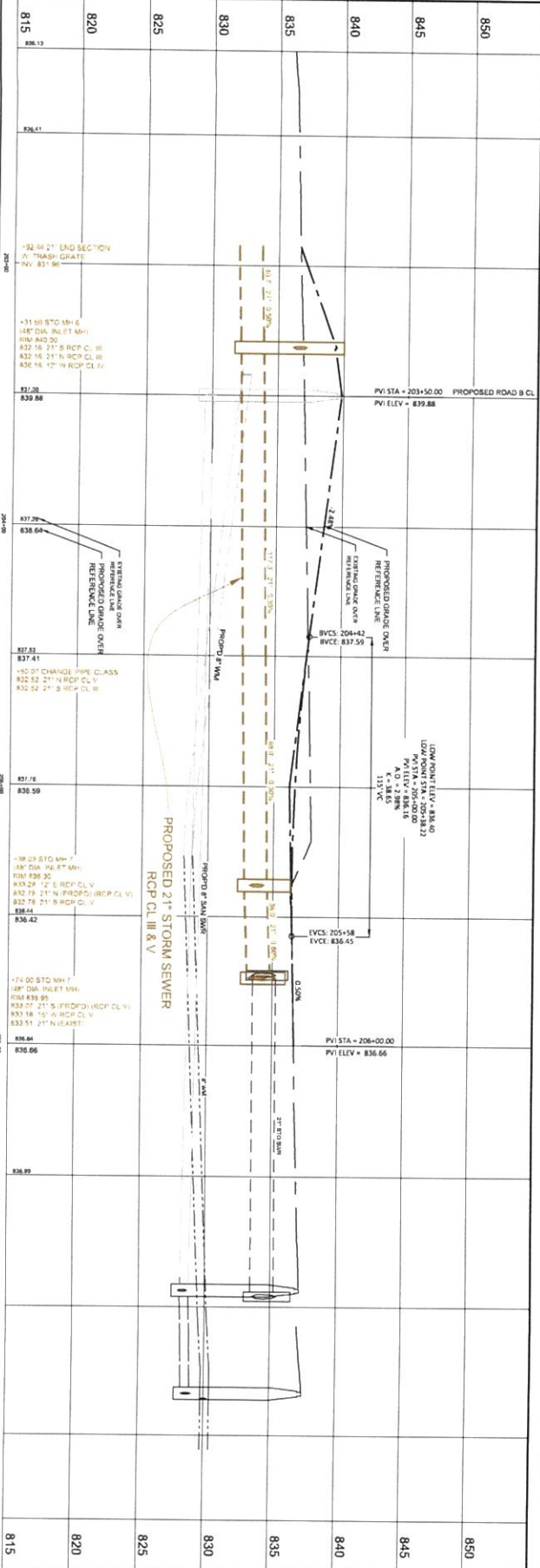
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820	825	830	835	840	845	850	855
SCOTT FARMS SUBDIVISION PROPOSED PAVEMENT & STORM SEWER IN: JOHNSON STREET FROM: WHEATLAND DRIVE TO: JOHNSON STREET FOREST LANDSCAPING & CONSTRUCTION DANE COUNTY, WISCONSIN							
SHEET NO. PS-03							

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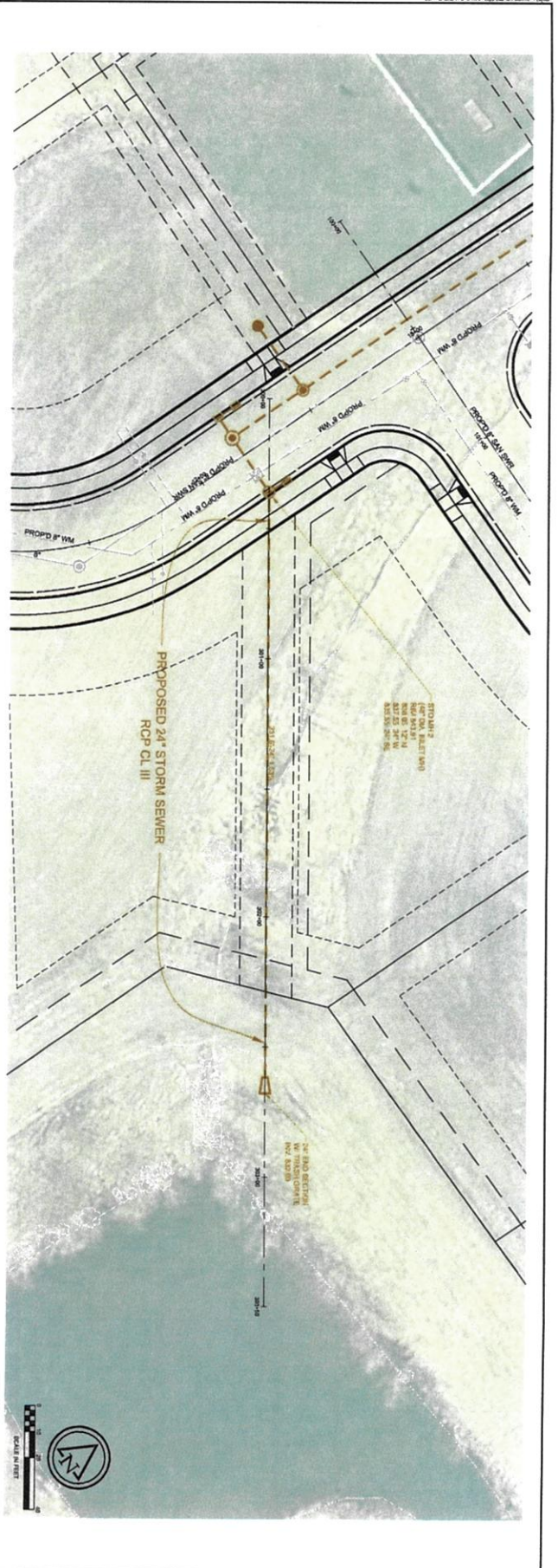
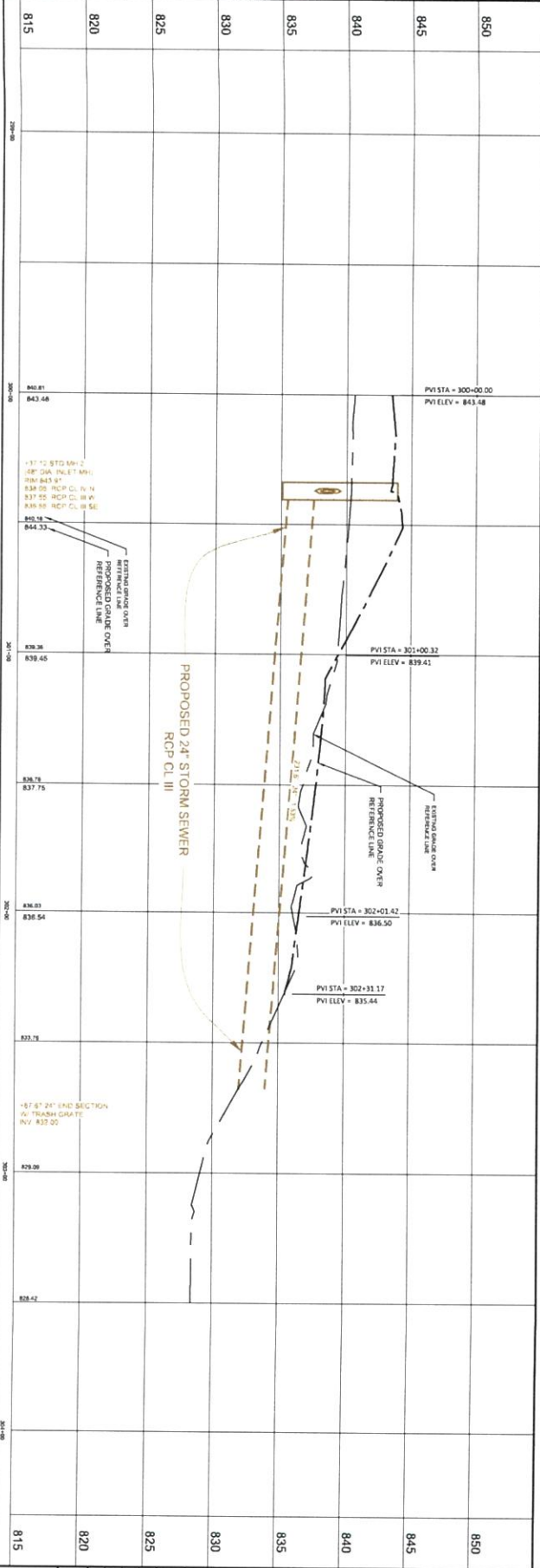
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825								825
830								830
835								835
840								840
845								845
850								850

**SCOTT FARMS SUBDIVISION
 PROPOSED PAVEMENT & STORM SEWER
 IN: SCOTT STREET
 FROM: JOHNSON STREET
 TO: SCOTT STREET
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN**

DATE: JAN 2021
 SHEET NO: 2380-0001
 PS-05

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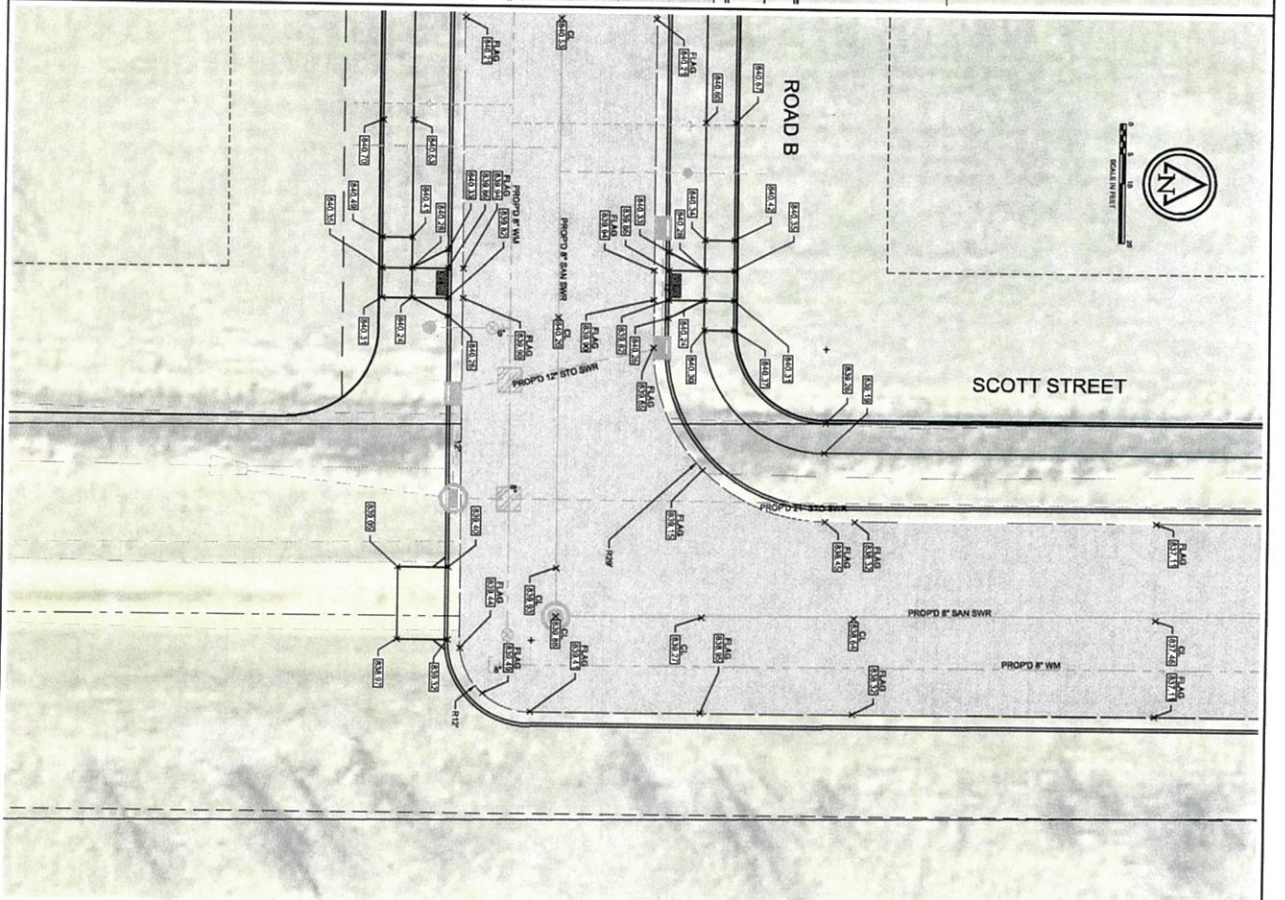
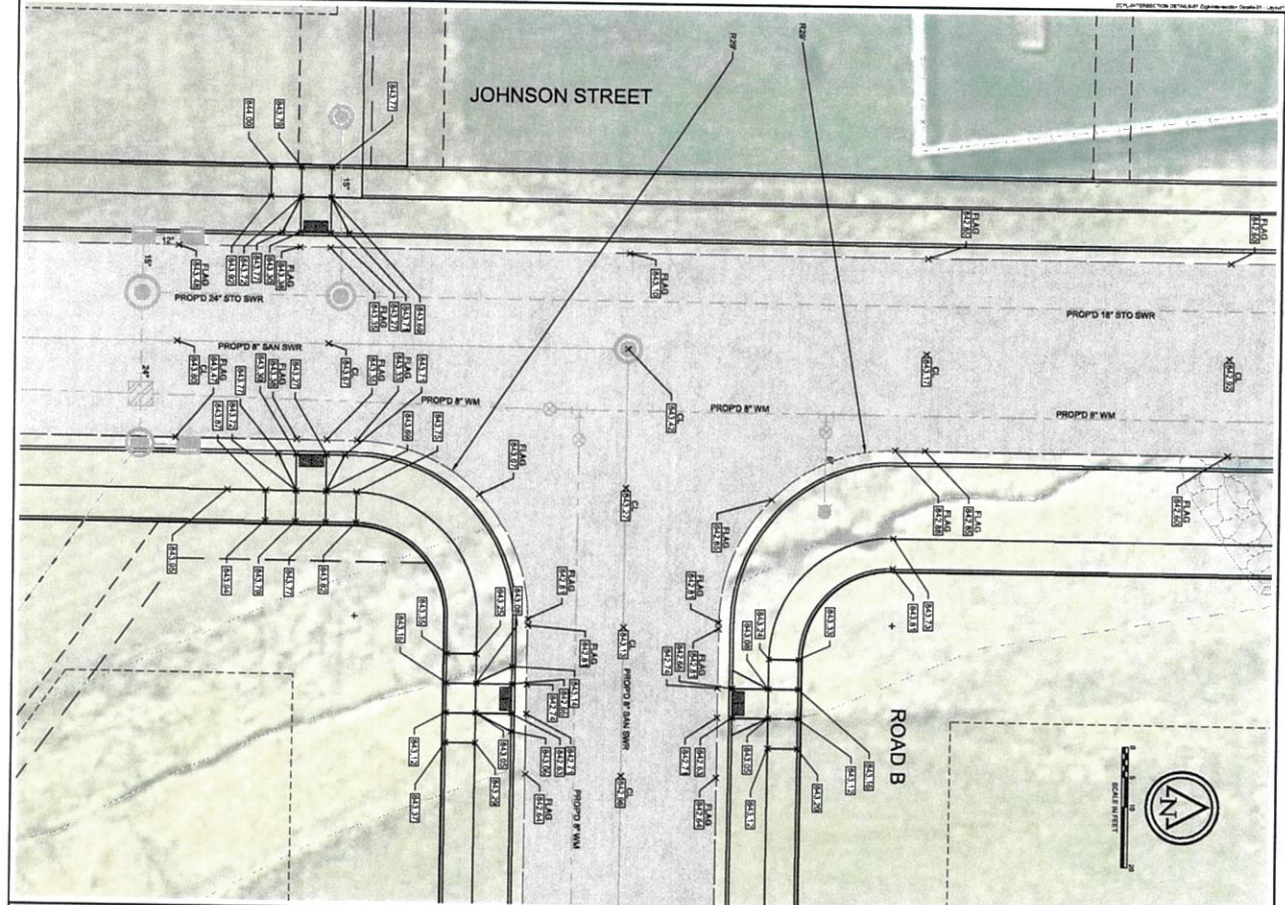
Scale: 1" = 40'-0"



815	840.81 843.48	PVI STA = 300+00.00 PVI ELEV = 843.48
820	838.38 839.46	PVI STA = 301+00.32 PVI ELEV = 839.41
825	836.54	PVI STA = 302+01.42 PVI ELEV = 836.50
830	835.44	PVI STA = 302+31.17 PVI ELEV = 835.44
835		
840		
845		
850		

SCOTT FARMS SUBDIVISION
PROPOSED STORM EASEMENT
 IN: STORM EASEMENT
 FROM: WHEATLAND DRIVE
 TO: 565' SOUTH EAST
FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

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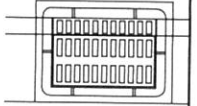
SHEET NO 1D-01	① COPYRIGHT 2023 RUEKERT MIELKE DESIGNED BY: [blank] DRAWN BY: [blank] CHECKED BY: [blank] DATE: JAN 2023 FILE NO: 2380-10001
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SCOTT FARMS SUBDIVISION
INTERSECTION DETAILS
FOREST LANDSCAPING & CONSTRUCTION
DANE COUNTY, WISCONSIN


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TOWN: 6N RANGE: 12E SECTION(s): 12 NW	1 2 3 4 5 6 7 8 9 10 11 12
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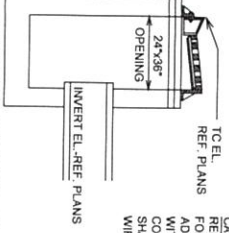
DT-02 CONSTRUCTION DETAILS DT-02



DIAGONAL SLOTS SHALL BE ORIENTED TO THE DIRECTION OF FLOW

MANHOLE REINFORCEMENT SHALL CONFORM TO ASTM C478. REFER TO SPECIFICATIONS FOR CASTING.

ADJUST FRAME TO GRADE WITH 2" TO 4" THICK PRECAST CONCRETE RINGS. RINGS SHALL BE REINFORCED WITH WIRE MESH OR #3 STEEL BARS.



STANDARD CATCH BASIN DETAIL NO SCALE

REFER TO SPECIFICATIONS FOR CASTING

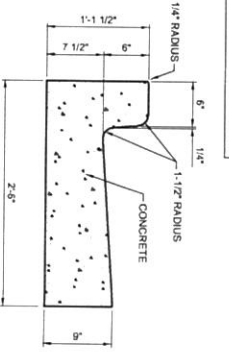
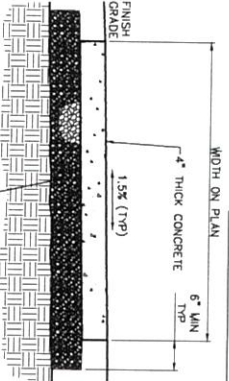
TRAFFIC-RATED CASTING. REFER TO SPECIFICATIONS FOR CASTING

CONCRETE WALK NO SCALE

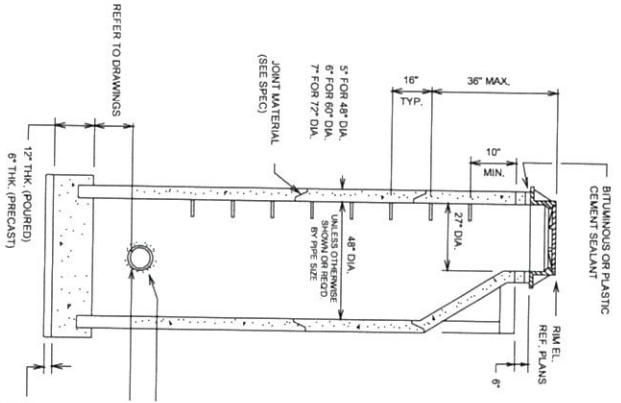
REFER TO SPECIFICATIONS FOR CASTING

30" VERTICAL FACE CURB & GUTTER NO SCALE

REFER TO SPECIFICATIONS FOR CASTING



- REBAR NOTES:**
1. REBAR CROSSING AND SERVICE LATERALS ADD (1) 1/2" LONG #4 EPOXY COATED REBAR IN THE SUBGRADE, CENTERED ON THE CROSSING.
 2. AT UTILITY CROSSINGS AND SERVICE LATERALS ADD (2) 1/2" LONG #4 EPOXY COATED REBAR IN THE BOTTOM OF THE CURB, CENTERED ON THE CROSSING.
 3. AT INLETS ADD (2) 5" LONG #4 EPOXY COATED REBAR STACKED VERTICALLY IN FRONT OF THE CASTING, CENTERED ON THE INLET.



STORM MANHOLE LIDS SHALL BE SELF-SEALING W/ CONCEALED PICK HOLES. ADJUST FRAME TO GRADE WITH 2" TO 4" THICK PRECAST CONCRETE RINGS. RINGS SHALL BE REINFORCED WITH WIRE MESH OR #3 STEEL BARS.

MANHOLE STEPS CONFORM TO ASTM C478 AND SHALL BE CAST IRON OR APPROVED STEEL REINFORCED POLYPROPYLENE.

MANHOLE: SEE MANHOLE SPEC. PRECAST CONCRETE AND REINFORCEMENT SHALL CONFORM TO ASTM C478.

MANHOLE: SEE MANHOLE SPEC. PRECAST CONCRETE AND REINFORCEMENT SHALL CONFORM TO ASTM C478.

CONCRETE TOP SECTION SHALL BE USED ON 48" DIA. MANHOLES UNLESS OTHERWISE SHOWN ON RECORD. SECTION MAY BE USED ON MANHOLES 60" DIA. OR LARGER.

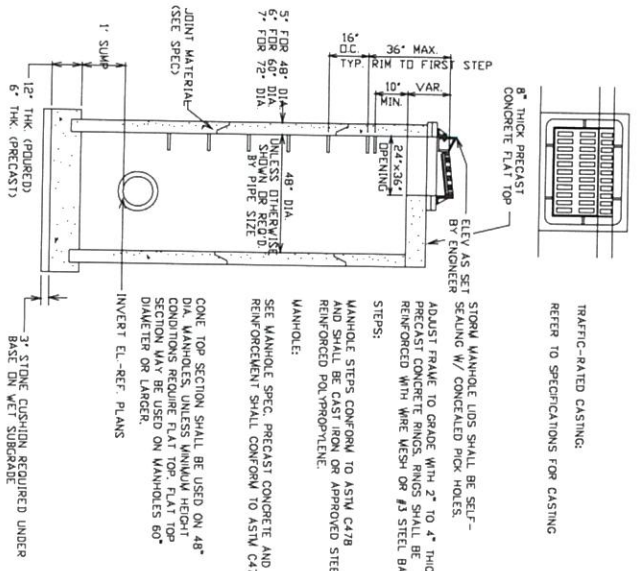
PIPE SEAL (SEE SPEC)

INVERT E.L. - REF. PLANS

3" STONE CUSHION REQUIRED UNDER BASE ON WET SUBGRADE.

STANDARD STORM SEWER MANHOLE NO SCALE

STANDARD CURB INLET MANHOLE NO SCALE



STORM MANHOLE LIDS SHALL BE SELF-SEALING W/ CONCEALED PICK HOLES. ADJUST FRAME TO GRADE WITH 2" TO 4" THICK PRECAST CONCRETE RINGS. RINGS SHALL BE REINFORCED WITH WIRE MESH OR #3 STEEL BARS.

MANHOLE STEPS CONFORM TO ASTM C478 AND SHALL BE CAST IRON OR APPROVED STEEL REINFORCED POLYPROPYLENE.

MANHOLE: SEE MANHOLE SPEC. PRECAST CONCRETE AND REINFORCEMENT SHALL CONFORM TO ASTM C478.

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PIPE SEAL (SEE SPEC)

INVERT E.L. - REF. PLANS

3" STONE CUSHION REQUIRED UNDER BASE ON WET SUBGRADE.

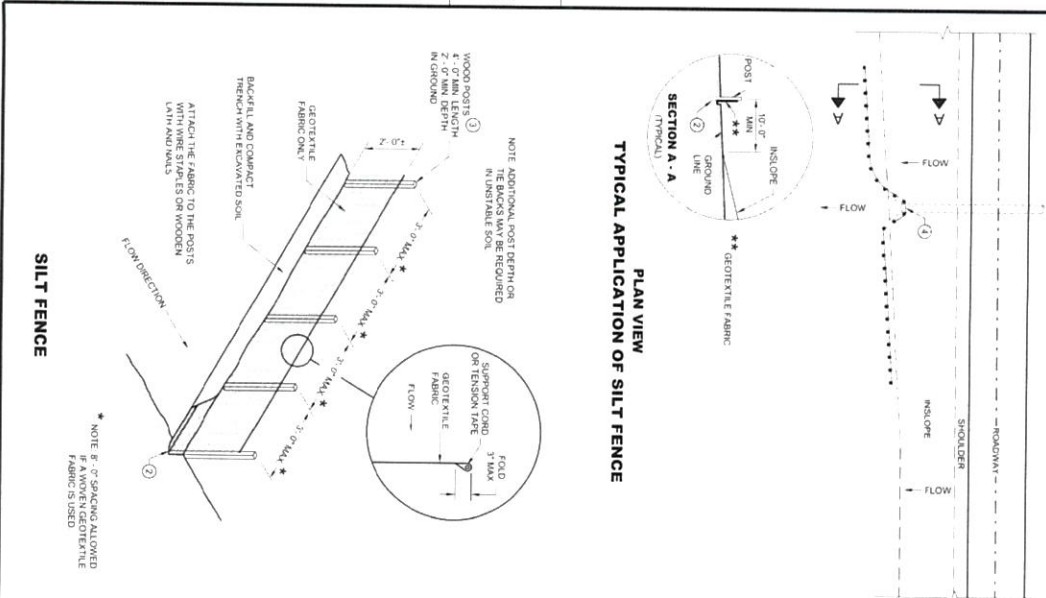
COMPANY	SCOTT FARMS SUBDIVISION
PROJECT	CONSTRUCTION DETAILS
DATE	APR 28, 2021
SCALE	AS SHOWN
PROJECT NO.	2380-10001
SHEET NO.	DT-02

SCOTT FARMS SUBDIVISION
 CONSTRUCTION DETAILS
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

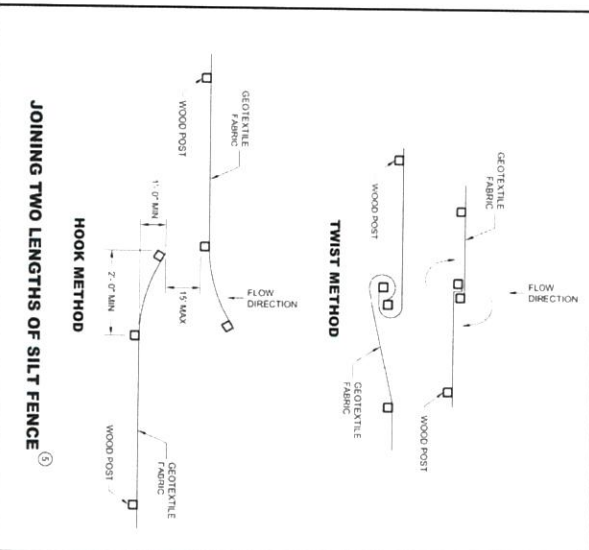
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SDD 08E09 Silt Fence

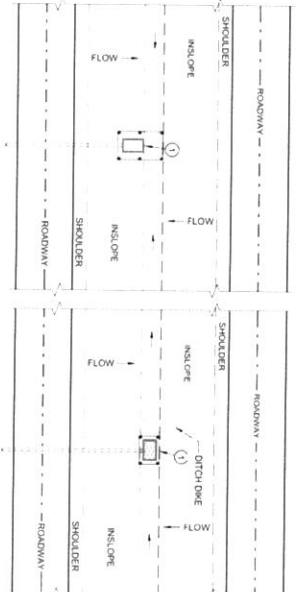
SDD 08E09 - 06



PLAN VIEW
 TYPICAL APPLICATION OF SILT FENCE



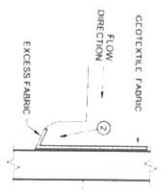
PLAN VIEW
 SILT FENCE AT MEDIAN SURFACE DRAINS



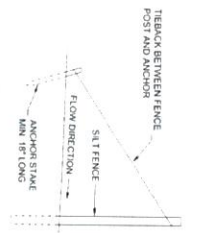
GENERAL NOTES

1. HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
2. FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 6" DEEP TO bury AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/2" X 1-1/2" OF OAK OR HICKORY.
4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
5. CONSTRUCTION OF A FENCE FROM A CONTAMINATED AREA IF POSSIBLE BY CUTTING LENGTHS TO AVOID SPILLS. OVERLAP THE END POSTS AND TWIST OR ROTATE AT LEAST 90 DEGREES. BI-HOOK THE END OF EACH SILT FENCE LENGTH.

TRENCH DETAIL



SILT FENCE TIE BACK (WHEN REQUIRED BY THE ENGINEER)



SILT FENCE	
APPROVED	STATE OF WISCONSIN
DESIGNED BY: JAMES BAUTO	DEPARTMENT OF TRANSPORTATION
CHECKED BY: JAMES BAUTO	
DATE: 04/28/23	
PROJECT NO: 2380-10001	
SHEET NO: DT-06	

SDD 08E09 - 06

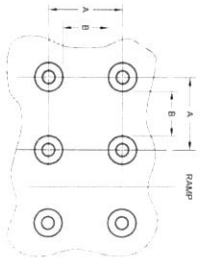
SCOTT FARMS SUBDIVISION
 CONSTRUCTION DETAILS
 FOREST LANDSCAPING & CONSTRUCTION
 DANE COUNTY, WISCONSIN

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SDD 08D05-g: Curb Ramps Rectangular and Radial Detectable Warning Plates

	MIN.	MAX.
A	1'-0"	2'-0"
B	0'-6"	1'-0"
C	*	*
D	0'-0"	1'-4"

* THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION.

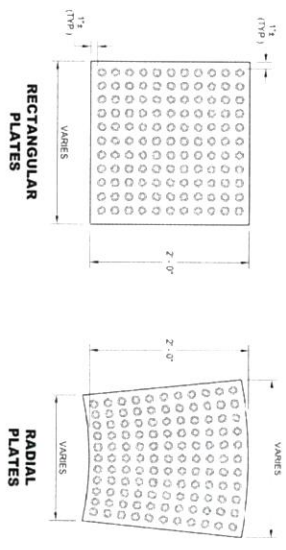


PLAN VIEW



ELEVATION VIEW

TRUNCATED DOMES DETECTABLE WARNING PATTERN DETAIL



RECTANGULAR PLATES
DETECTABLE WARNING FIELDS (TYPICAL)

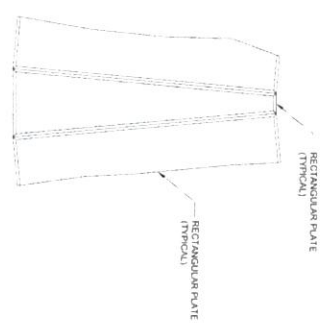
NOTE: THE COLOR OF THE DETECTABLE WARNING FIELD SHALL BE PATINA NOT FINISH.

RADIAL DETECTABLE WARNING FIELD ATTRIBUTES



PLAN VIEW

RADIAL WEDGE PLATE CONNECTION DETAIL



PLAN VIEW

GENERAL NOTES

- DETECTABLE WARNING FIELDS THAT ARE INSTALLED AT A CURB RAMP SHALL BE FROM THE SAME MANUFACTURER.
- PLACE ALL DETECTABLE WARNING FIELD SYSTEMS IN ACCORDANCE TO THE MANUFACTURER'S RECOMMENDATION.
- FIELD CUTS AT INTERMEDIATE JOINTS WITHIN THE RADIAL DETECTABLE WARNING FIELD ARE PROHIBITED.
- DETERMINE FINAL RADIAL WARNING FIELD CONFIGURATION AND ITS INDIVIDUAL PLATE LOCATIONS PERFORM PRE-LAYOUT PRIOR TO PLACEMENT IN PLASTIC CONCRETE. FOLLOW MANUFACTURER'S PRODUCT LIST AND INSTALLATION RECOMMENDATIONS.
- FOR RADIAL DETECTABLE WARNING FIELDS, SQUARE WEDGE STANDARD RADIAL PLATES ARE NOT AVAILABLE AT ANY INTERSECTION.
- CURB RAMP: A COMBINATION OF SQUARE OR RECTANGULAR PLATES AND RADIAL PLATES MAY BE USED TO FORM RADIAL DETECTABLE WARNING FIELDS IN COMBINATION WITH SQUARE PLATES. ALSO ACCEPTABLE. FOLLOW MANUFACTURER'S RECOMMENDATIONS.
- REFER TO CONTRACT AND STANDARD SPECIFICATIONS FOR FIELD CUTTING RECOMMENDATIONS.
- DO NOT EMBED IN CONCRETE ANY FIELD CUT PLATES WITH CUT EDGES SHORTER THAN 6 INCHES. CONSULT WITH MANUFACTURER FOR THE SELLING AND ARCHIVING REQUIREMENTS OF FIELD CUT PLATES.
- FIELD CUTS: CURB RAMP RADIAL DETECTABLE WARNING PLATES WILL BE NECESSARY TO MAINTAIN EACH CURB RAMP EDGE ALONG CUTTING THROUGH DOMES WHENEVER POSSIBLE. MAKE FIELD CUTS WIDE TO THE END AND MAINTAIN DESIGNER'S INDENTERS OF FIELD CUT PLATES.

SDD 08D05 - 20g

SDD 08D05 - 20g

CURB RAMPS RECTANGULAR AND RADIAL DETECTABLE WARNING PLATES	
STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION	
APPROVED	DATE
APPROVED	DATE
APPROVED	DATE

SCOTT FARMS SUBDIVISION
CONSTRUCTION DETAILS
FOREST LANDSCAPING & CONSTRUCTION
DANE COUNTY, WISCONSIN

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23RD-10001
SHEET NO.
DT-10

